

# Appendix 1

**Application for a premises licence to be granted  
under the Licensing Act 2003**

**PLEASE READ THE FOLLOWING INSTRUCTIONS FIRST**

Before completing this form please read the guidance notes at the end of the form. If you are completing this form by hand please write legibly in block capitals. In all cases ensure that your answers are inside the boxes and written in black ink. Use additional sheets if necessary.

You may wish to keep a copy of the completed form for your records.

**I/We** Horizon Whitechapel Limited

*(Insert name(s) of applicant)*

**apply for a premises licence under section 17 of the Licensing Act 2003 for the premises described in Part 1 below (the premises) and I/we are making this application to you as the relevant licensing authority in accordance with section 12 of the Licensing Act 2003**

**Part 1 – Premises Details**

|  |        |                 |        |
|--|--------|-----------------|--------|
| Postal address of premises or, if none, ordnance survey map reference or description |        |                 |        |
| New Road Hotel,<br>103 – 107, New Road,<br>Whitechapel,                              |        |                 |        |
| <b>Post town</b>   | London | <b>Postcode</b> | E1 1HJ |

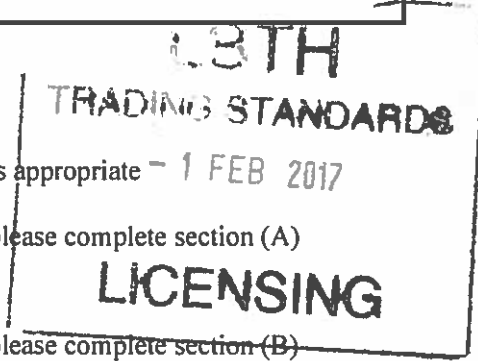
|   |    |
|---|----|
| Telephone number at premises (if any)   |    |
| Non-domestic rateable value of premises | £0 |

**Part 2 - Applicant Details**

Please state whether you are applying for a premises licence as

Please tick as appropriate - 1 FEB 2017

- |   |                          |                             |
|---|--------------------------|-----------------------------|
| a) an individual or individuals *                 | <input type="checkbox"/> | please complete section (A) |
| b) a person other than an individual *            |                          |                             |
| i. as a limited company                           | x                        | please complete section (B) |
| ii. as a partnership                              | <input type="checkbox"/> | please complete section (B) |
| iii. as an unincorporated association or          | <input type="checkbox"/> | please complete section (B) |
| iv. other (for example a statutory corporation)   | <input type="checkbox"/> | please complete section (B) |
| c) a recognised club                              | <input type="checkbox"/> | please complete section (B) |
| d) a charity                                      | <input type="checkbox"/> | please complete section (B) |
| e) the proprietor of an educational establishment | <input type="checkbox"/> | please complete section (B) |



- f) a health service body  please complete section (B)
- g) a person who is registered under Part 2 of the Care Standards Act 2000 (c14) in respect of an independent hospital in Wales  please complete section (B)
- ga) a person who is registered under Chapter 2 of Part 1 of the Health and Social Care Act 2008 (within the meaning of that Part) in an independent hospital in England  please complete section (B)
- h) the chief officer of police of a police force in England and Wales  please complete section (B)

\* If you are applying as a person described in (a) or (b) please confirm:

Please tick yes

I am carrying on or proposing to carry on a business which involves the use of the premises for licensable activities; or x

I am making the application pursuant to a  
 statutory function or   
 a function discharged by virtue of Her Majesty's prerogative

**(A) INDIVIDUAL APPLICANTS (fill in as applicable)**

|   |                              |                               |                             |  |  |
|---|------------------------------|-------------------------------|-----------------------------|--|--|
| Mr <input type="checkbox"/>                               | Mrs <input type="checkbox"/> | Miss <input type="checkbox"/> | Ms <input type="checkbox"/> | Other Title (for example, Rev)           |  |
| Surname   |                              |                               | First names                 |  |  |
| I am 18 years old or over                                 |                              |                               |                             | <input type="checkbox"/> Please tick yes |  |
| Current postal address if different from premises address |                              |                               |                             |  |  |
| Post town   |                              |                               |                             | Postcode                                 |  |
| Daytime contact telephone number                          |                              |                               |                             |  |  |
| E-mail address (optional)                                 |                              |                               |                             |  |  |

**SECOND INDIVIDUAL APPLICANT (if applicable)**

|   |                              |                               |                             |                                |                 |
|---|------------------------------|-------------------------------|-----------------------------|--------------------------------|-----------------|
| Mr <input type="checkbox"/>                               | Mrs <input type="checkbox"/> | Miss <input type="checkbox"/> | Ms <input type="checkbox"/> | Other Title (for example, Rev) |                 |
| Surname   |                              |                               | First names                 |                                |                 |
| I am 18 years old or over                                 |                              |                               |                             | <input type="checkbox"/>       | Please tick yes |
| Current postal address if different from premises address |                              |                               |                             |                                |                 |
| Post town   |                              | Postcode                      |                             |                                |                 |
| Daytime contact telephone number                          |                              |                               |                             |                                |                 |
| E-mail address (optional)                                 |                              |                               |                             |                                |                 |

**(B) OTHER APPLICANTS**

Please provide name and registered address of applicant in full. Where appropriate please give any registered number. In the case of a partnership or other joint venture (other than a body corporate), please give the name and address of each party concerned.

|  |
|--|
| Name<br>Horizon Whitechapel Limited  |
| Address<br>103 – 107, New Road,<br>Whitechapel,<br>London,<br>E1 1HJ   |
| Registered number (where applicable)<br>10536596   |
| Description of applicant (for example, partnership, company, unincorporated association etc.)<br>Limited Company |
| Telephone number (if any)  |
| E-mail address (optional)  |

**Part 3 Operating Schedule**

When do you want the premises licence to start?

|    |    |       |
|----|----|-------|
| DD | MM | YYYY  |
| 0  | 30 | 32017 |

If you wish the licence to be valid only for a limited period, when do you want it to end?

|    |    |      |
|----|----|------|
| DD | MM | YYYY |
| 1  | 1  | 1111 |

Please give a general description of the premises (please read guidance note 1)

The Application relates to premises which will operate as a Hotel over several floors, as particularised by the plans which accompany the Application.  
 Premises Licence facilities will be located as per the plans (over 6 floor levels, being basement, ground, first, second, third and fourth levels), and all plans served with the Application are submitted for approval, with bedrooms forming part of the areas to be licensed.  
 The Application will seek the provision of regulated entertainment, provision of late night refreshment and the supply of alcohol.  
 The standard days and timings are stipulated within each particular section, which are sought for non-hotel residents, whilst all facilities sought for residents and their bona-fide guests are on a daily 24 hour basis.

If 5,000 or more people are expected to attend the premises at any one time, please state the number expected to attend.

|  |
|--|
|  |
|--|

What licensable activities do you intend to carry on from the premises?

(Please see sections 1 and 14 of the Licensing Act 2003 and Schedules 1 and 2 to the Licensing Act 2003)

- | Provision of regulated entertainment  | Please tick any that apply |
|---|----------------------------|
| a) plays (if ticking yes, fill in box A)  | x                          |
| b) films (if ticking yes, fill in box B)  | x                          |
| c) indoor sporting events (if ticking yes, fill in box C)   | <input type="checkbox"/>   |
| d) boxing or wrestling entertainment (if ticking yes, fill in box D)  | <input type="checkbox"/>   |
| e) live music (if ticking yes, fill in box E)   | x                          |
| f) recorded music (if ticking yes, fill in box F)   | x                          |
| g) performances of dance (if ticking yes, fill in box G)  | x                          |
| h) anything of a similar description to that falling within (e), (f) or (g) (if ticking yes, fill in box H) | x                          |
| <b><u>Provision of late night refreshment</u></b> (if ticking yes, fill in box I)                           | x                          |
| <b><u>Supply of alcohol</u></b> (if ticking yes, fill in box J)   | x                          |

In all cases complete boxes K, L and M

A

| Plays<br>Standard days and timings<br>(please read guidance note 6) |       |        | <u>Will the performance of a play take place indoors or outdoors or both – please tick</u> (please read guidance note 2)  | Indoors  | x                        |
|---|-------|--------|---|----------|--------------------------|
|   |       |        |   | Outdoors | <input type="checkbox"/> |
| Day   | Start | Finish |   | Both     |                          |
| Mon   | 08.00 | 00.00  | <u>Please give further details here</u> (please read guidance note 3)<br>A facility for the provision of plays for hotel residents, their bona-fide guests, and patrons of the hotel.   |          |                          |
| Tue   | 08.00 | 00.00  |   |          |                          |
| Wed   | 08.00 | 00.00  | <u>State any seasonal variations for performing plays</u> (please read guidance note 4)<br>See NST below.   |          |                          |
| Thur  | 08.00 | 00.00  |   |          |                          |
| Fri   | 08.00 | 01.00  | <u>Non standard timings. Where you intend to use the premises for the performance of plays at different times to those listed in the column on the left, please list</u> (please read guidance note 5)<br>Residents of the hotel and their bon-fide guests will be entitled to these facilities on a 24 hour basis.<br>All Licensable Activities (and opening times) to be extended by one hour on the commencement of British Summer Time.<br>All Licensable Activities (and opening times) to be allowed to continue from the terminal hour on New Year’s Eve, to the commencement hour on New Year’s Day.<br>The non-standard timings (NST) stipulated here, shall also apply to those NST sections below where indicated. |          |                          |
| Sat   | 08.00 | 01.00  |   |          |                          |
| Sun   | 08.00 | 00.00  |   |          |                          |

**B**

| Films<br>Standard days and timings<br>(please read guidance note 6) |       |        | <b>Will the exhibition of films take place indoors or outdoors or both – please tick</b> (please read guidance note 2)  | Indoors  | x                        |
|---|-------|--------|---|----------|--------------------------|
|   |       |        |   | Outdoors | <input type="checkbox"/> |
| Day   | Start | Finish |   | Both     |                          |
| Mon   | 08.00 | 00.00  | <b>Please give further details here</b> (please read guidance note 3)<br>A facility for the provision of films for hotel residents, their bona-fide guests, and patrons of the hotel.   |          |                          |
| Tue   | 08.00 | 00.00  |   |          |                          |
| Wed   | 08.00 | 00.00  | <b>State any seasonal variations for the exhibition of films</b> (please read guidance note 4)<br>See NST below.  |          |                          |
| Thur  | 08.00 | 00.00  |   |          |                          |
| Fri   | 08.00 | 01.00  | <b>Non standard timings. Where you intend to use the premises for the exhibition of films at different times to those listed in the column on the left, please list</b> (please read guidance note 5)<br>Please apply here that NST section completed as above in Section A, films. |          |                          |
| Sat   | 08.00 | 01.00  |   |          |                          |
| Sun   | 08.00 | 00.00  |   |          |                          |

**C**

| Indoor sporting events<br>Standard days and timings<br>(please read guidance note 6) |       |        | <b><u>Please give further details</u></b> (please read guidance note 3) |
|--|-------|--------|---|
| Day  | Start | Finish |   |
| Mon  |       |        |   |
|  |       |        |   |
| Tue  |       |        |   |
|  |       |        |   |
| Wed  |       |        |   |
|  |       |        |   |
| Thur   |       |        |   |
|  |       |        |   |
| Fri  |       |        |   |
|  |       |        |   |
| Sat  |       |        |   |
|  |       |        |   |
| Sun  |       |        |   |
|  |       |        |   |

**State any seasonal variations for indoor sporting events** (please read guidance note 4)

**Non standard timings. Where you intend to use the premises for indoor sporting events at different times to those listed in the column on the left, please list** (please read guidance note 5)



**D**

|   |       |        |  |          |                          |
|---|-------|--------|--|----------|--------------------------|
| <b>Boxing or wrestling entertainments</b><br>Standard days and timings<br>(please read guidance note 6) |       |        | <b><u>Will the boxing or wrestling entertainment take place indoors or outdoors or both – please tick</u></b><br>(please read guidance note 2)   | Indoors  | <input type="checkbox"/> |
|   |       |        |  | Outdoors | <input type="checkbox"/> |
|   |       |        |  | Both     | <input type="checkbox"/> |
| Day   | Start | Finish | <b><u>Please give further details here</u></b> (please read guidance note 3)   |          |                          |
| Mon   |       |        |  |          |                          |
|   |       |        |  |          |                          |
| Tue   |       |        |  |          |                          |
|   |       |        |  |          |                          |
| Wed   |       |        |  |          |                          |
|   |       |        |  |          |                          |
|   |       |        | <b><u>State any seasonal variations for boxing or wrestling entertainment</u></b><br>(please read guidance note 4)   |          |                          |
| Thur  |       |        | <b><u>Non standard timings. Where you intend to use the premises for boxing or wrestling entertainment at different times to those listed in the column on the left, please list</u></b> (please read guidance note 5) |          |                          |
|   |       |        |  |          |                          |
| Fri   |       |        |  |          |                          |
|   |       |        |  |          |                          |
| Sat   |       |        |  |          |                          |
|   |       |        |  |          |                          |
| Sun   |       |        |  |          |                          |

**E**

| Live music<br>Standard days and timings<br>(please read guidance note 6) |       |        | <b><u>Will the performance of live music take place indoors or outdoors or both – please tick</u></b> (please read guidance note 2)  | Indoors  | x                        |
|--|-------|--------|--|----------|--------------------------|
|  |       |        |  | Outdoors | <input type="checkbox"/> |
|  |       |        |  | Both     |                          |
| Day  | Start | Finish |  |          |                          |
| Mon  | 08.00 | 00.00  | <b><u>Please give further details here</u></b> (please read guidance note 3)<br>A facility for the provision of live music for hotel residents, their bona-fide guests, and patrons of the hotel.  |          |                          |
|  |       |        |  |          |                          |
| Tue  | 08.00 | 00.00  |  |          |                          |
|  |       |        |  |          |                          |
| Wed  | 08.00 | 00.00  | <b><u>State any seasonal variations for the performance of live music</u></b> (please read guidance note 4)<br>See NST below.  |          |                          |
|  |       |        |  |          |                          |
| Thur   | 08.00 | 00.00  |  |          |                          |
|  |       |        |  |          |                          |
| Fri  | 08.00 | 01.00  | <b><u>Non standard timings. Where you intend to use the premises for the performance of live music at different times to those listed in the column on the left, please list</u></b> (please read guidance note 5)<br>Please apply here that NST section completed as above in Section A, films. |          |                          |
|  |       |        |  |          |                          |
| Sat  | 08.00 | 01.00  |  |          |                          |
|  |       |        |  |          |                          |
| Sun  | 08.00 | 00.00  |  |          |                          |
|  |       |        |  |          |                          |

**F**

| Recorded music<br>Standard days and timings<br>(please read guidance note 6) |       |        | Will the playing of recorded music take place<br><u>indoors or outdoors or both – please tick</u> (please read guidance note 2)   | Indoors  | x                        |
|--|-------|--------|---|----------|--------------------------|
|  |       |        |   | Outdoors | <input type="checkbox"/> |
|  |       |        |   | Both     |                          |
| Day  | Start | Finish | <b>Please give further details here</b> (please read guidance note 3)<br>A 24 hour facility for the provision of recorded music for hotel residents, their bona-fide guests, and patrons of the hotel.      |          |                          |
| Mon  | 00.00 | 00.00  |   |          |                          |
|  |       |        |   |          |                          |
| Tue  | 00.00 | 00.00  |   |          |                          |
|  |       |        |   |          |                          |
| Wed  | 00.00 | 00.00  |   |          |                          |
|  |       |        |   |          |                          |
| Thur   | 00.00 | 00.00  |   |          |                          |
|  |       |        |   |          |                          |
|  |       |        | <b>State any seasonal variations for the playing of recorded music</b> (please read guidance note 4)  |          |                          |
| Fri  | 00.00 | 00.00  |   |          |                          |
|  |       |        |   |          |                          |
| Sat  | 00.00 | 00.00  |   |          |                          |
|  |       |        |   |          |                          |
| Sun  | 00.00 | 00.00  |   |          |                          |
|  |       |        |   |          |                          |
|  |       |        | <b>Non standard timings. Where you intend to use the premises for the playing of recorded music at different times to those listed in the column on the left, please list</b> (please read guidance note 5) |          |                          |

**G**

| Performances of dance<br>Standard days and timings<br>(please read guidance note 6) |       |        | <b><u>Will the performance of dance take place indoors or outdoors or both – please tick</u></b> (please read guidance note 2)  | Indoors  | x                        |
|---|-------|--------|---|----------|--------------------------|
|   |       |        |   | Outdoors | <input type="checkbox"/> |
|   |       |        |   | Both     |                          |
| Day   | Start | Finish |   |          |                          |
| Mon   | 08.00 | 00.00  | <b><u>Please give further details here</u></b> (please read guidance note 3)<br>A facility for the provision of performances of dance for hotel residents, their bona-fide guests, and patrons of the hotel.  |          |                          |
|   |       |        |   |          |                          |
| Tue   | 08.00 | 00.00  |   |          |                          |
|   |       |        |   |          |                          |
| Wed   | 08.00 | 00.00  | <b><u>State any seasonal variations for the performance of dance</u></b> (please read guidance note 4)<br>See NST below.  |          |                          |
|   |       |        |   |          |                          |
| Thur  | 08.00 | 00.00  |   |          |                          |
|   |       |        |   |          |                          |
| Fri   | 08.00 | 01.00  | <b><u>Non standard timings. Where you intend to use the premises for the performance of dance at different times to those listed in the column on the left, please list</u></b> (please read guidance note 5)<br>Please apply here that NST section completed as above in Section A, films. |          |                          |
|   |       |        |   |          |                          |
| Sat   | 08.00 | 01.00  |   |          |                          |
|   |       |        |   |          |                          |
| Sun   | 08.00 | 00.00  |   |          |                          |
|   |       |        |   |          |                          |

# H

|   |       |        |   |          |                          |
|---|-------|--------|---|----------|--------------------------|
| <b>Anything of a similar description to that falling within (e), (f) or (g)</b><br>Standard days and timings<br>(please read guidance note 6) |       |        | Please give a description of the type of entertainment you will be providing<br>Both live and recorded music, and the performance of dance.   |          |                          |
| Day   | Start | Finish | <b>Will this entertainment take place indoors or outdoors or both – please tick</b> (please read guidance note 2)   | Indoors  | x                        |
| Mon   | 08.00 | 00.00  |   | Outdoors | <input type="checkbox"/> |
|   |       |        |   | Both     |                          |
| Tue   | 08.00 | 00.00  | <b>Please give further details here</b> (please read guidance note 3)<br>A facility for the provision of both live and recorded music, and the performance of dance, for hotel residents, their bona-fide guests, and patrons of the hotel.   |          |                          |
| Wed   | 08.00 | 00.00  |   |          |                          |
| Thur  | 08.00 | 00.00  | <b>State any seasonal variations for entertainment of a similar description to that falling within (e), (f) or (g)</b> (please read guidance note 4)<br>See NST below.  |          |                          |
| Fri   | 08.00 | 01.00  |   |          |                          |
| Sat   | 08.00 | 01.00  | <b>Non standard timings. Where you intend to use the premises for the entertainment of a similar description to that falling within (e), (f) or (g) at different times to those listed in the column on the left, please list</b> (please read guidance note 5)<br>Please apply here that NST section completed as above in Section A, films. |          |                          |
| Sun   | 08.00 | 00.00  |   |          |                          |

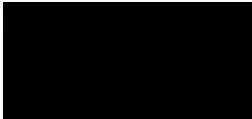


I

| Late night refreshment<br>Standard days and timings<br>(please read guidance note 6) |       |        | Will the provision of late night refreshment take place indoors or outdoors or both – please tick<br>(please read guidance note 2)   | Indoors  | x                        |
|--|-------|--------|--|----------|--------------------------|
|  |       |        |  | Outdoors | <input type="checkbox"/> |
| Day  | Start | Finish |  | Both     | <input type="checkbox"/> |
| Mon  | 23.00 | 00.00  | <b>Please give further details here</b> (please read guidance note 3)<br>A facility for the provision of late night refreshment for hotel residents, their bona-fide guests, and patrons of the hotel.   |          |                          |
| Tue  | 23.00 | 00.00  |  |          |                          |
| Wed  | 23.00 | 00.00  | <b>State any seasonal variations for the provision of late night refreshment</b><br>(please read guidance note 4)<br>See NST below.  |          |                          |
| Thur   | 23.00 | 00.00  |  |          |                          |
| Fri  | 23.00 | 01.00  | <b>Non standard timings. Where you intend to use the premises for the provision of late night refreshment at different times, to those listed in the column on the left, please list</b> (please read guidance note 5)<br>Please apply here that NST section completed as above in Section A, films. |          |                          |
| Sat  | 23.00 | 01.00  |  |          |                          |
| Sun  | 23.00 | 00.00  |  |          |                          |

**J**

|  |       |        |   |                  |                          |
|--|-------|--------|---|------------------|--------------------------|
| <b>Supply of alcohol</b><br>Standard days and timings<br>(please read guidance note 6) |       |        | <b>Will the supply of alcohol be for consumption – please tick</b> (please read guidance note 7)  | On the premises  | <input type="checkbox"/> |
|  |       |        |   | Off the premises |                          |
|  |       |        |   | Both             | x                        |
| Day  | Start | Finish | <b>State any seasonal variations for the supply of alcohol</b> (please read guidance note 4)<br>See NST below.<br><br><b>Non standard timings. Where you intend to use the premises for the supply of alcohol at different times to those listed in the column on the left, please list</b> (please read guidance note 5)<br>Please apply here that NST section completed as above in Section A, films. |                  |                          |
| Mon  | 08.00 | 00.00  |   |                  |                          |
| Tue  | 08.00 | 00.00  |   |                  |                          |
| Wed  | 08.00 | 00.00  |   |                  |                          |
| Thur   | 08.00 | 00.00  |   |                  |                          |
| Fri  | 08.00 | 01.00  |   |                  |                          |
| Sat  | 08.00 | 01.00  |   |                  |                          |
| Sun  | 08.00 | 00.00  |   |                  |                          |

**State the name and details of the individual whom you wish to specify on the licence as designated premises supervisor:**

|   |   |
|---|---|
| Name  |   |
| Nicholas James Taplin   |   |
| Address   |   |
|  |   |
| Postcode  |  |
| Personal licence number (if known)  |   |
|  |   |
| Issuing licensing authority (if known)  |   |
| North Somerset Council  |   |

**K**

**Please highlight any adult entertainment or services, activities, other entertainment or matters ancillary to the use of the premises that may give rise to concern in respect of children (please read guidance note 8).**

None.

**L**

|  |       |        |  |
|--|-------|--------|--|
| <b>Hours premises are open to the public</b><br>Standard days and timings<br>(please read guidance note 6) |       |        | <b><u>State any seasonal variations</u></b> (please read guidance note 4)<br>See NST below.  |
| Day  | Start | Finish | <b><u>Non standard timings. Where you intend the premises to be open to the public at different times from those listed in the column on the left, please list</u></b> (please read guidance note 5)<br>Please apply here that NST section completed as above in Section A, films. |
| Mon  | 08.00 | 00.30  |  |
|  |       |        |  |
| Tue  | 08.00 | 00.30  |  |
|  |       |        |  |
| Wed  | 08.00 | 00.30  |  |
|  |       |        |  |
| Thur   | 08.00 | 00.30  |  |
|  |       |        |  |
| Fri  | 08.00 | 01.30  |  |
|  |       |        |  |
| Sat  | 08.00 | 01.30  |  |
|  |       |        |  |
| Sun  | 08.00 | 00.30  |  |
|  |       |        |  |



## M

### **Describe the steps you intend to take to promote the four licensing objectives:**

#### **a) General – all four licensing objectives (b, c, d and e) (please read guidance note 9)**

The subject premises will apply a standard of operation which will ensure compliance with all four Licensing Objectives, based upon factors more particularly outlined within sections (b) to (e) below.

#### **b) The prevention of crime and disorder**

The style and operation of the premises is designed to minimise the potential for crime and disorder. This is achieved by the use of CCTV, along with a due-diligence system to include relevant training for staff.

#### **c) Public safety**

In addition to b above, all requirements of the Responsible Authorities will be followed, complying with all applicable Fire Safety, and Health & Safety Regulations.

#### **d) The prevention of public nuisance**

In addition to b and c above, the premises will operate with any Local Authority litter / refuse collection regulations that may apply, and the Applicant welcomes any communication from any interested party concerning the operation of the premises.

#### **e) The protection of children from harm**

In addition to b, c and d above, staff will be subject to due-diligence training to endeavour prevention of unlawful sales.

**Checklist:**

**Please tick to indicate agreement**

- I have made or enclosed payment of the fee. X
- I have enclosed the plan of the premises. X
- I have sent copies of this application and the plan to responsible authorities and others where applicable. X
- I have enclosed the consent form completed by the individual I wish to be designated premises supervisor, if applicable. X
- I understand that I must now advertise my application. X
- I understand that if I do not comply with the above requirements my application will be rejected. X

**IT IS AN OFFENCE, LIABLE ON SUMMARY CONVICTION TO A FINE NOT EXCEEDING LEVEL 5 ON THE STANDARD SCALE, UNDER SECTION 158 OF THE LICENSING ACT 2003, TO MAKE A FALSE STATEMENT IN OR IN CONNECTION WITH THIS APPLICATION.**

**Part 4 – Signatures** (please read guidance note 10)

**Signature of applicant or applicant’s solicitor or other duly authorised agent** (see guidance note 11).  
**If signing on behalf of the applicant, please state in what capacity.**

|           |  |
|-----------|--|
| Signature | EAD Solicitors LLP                                       |
| Date      | 31 <sup>st</sup> January 2017                            |
| Capacity  | Solicitors instructed for and on behalf of the Applicant |

**For joint applications, signature of 2<sup>nd</sup> applicant or 2<sup>nd</sup> applicant’s solicitor or other authorised agent** (please read guidance note 12). **If signing on behalf of the applicant, please state in what capacity.**

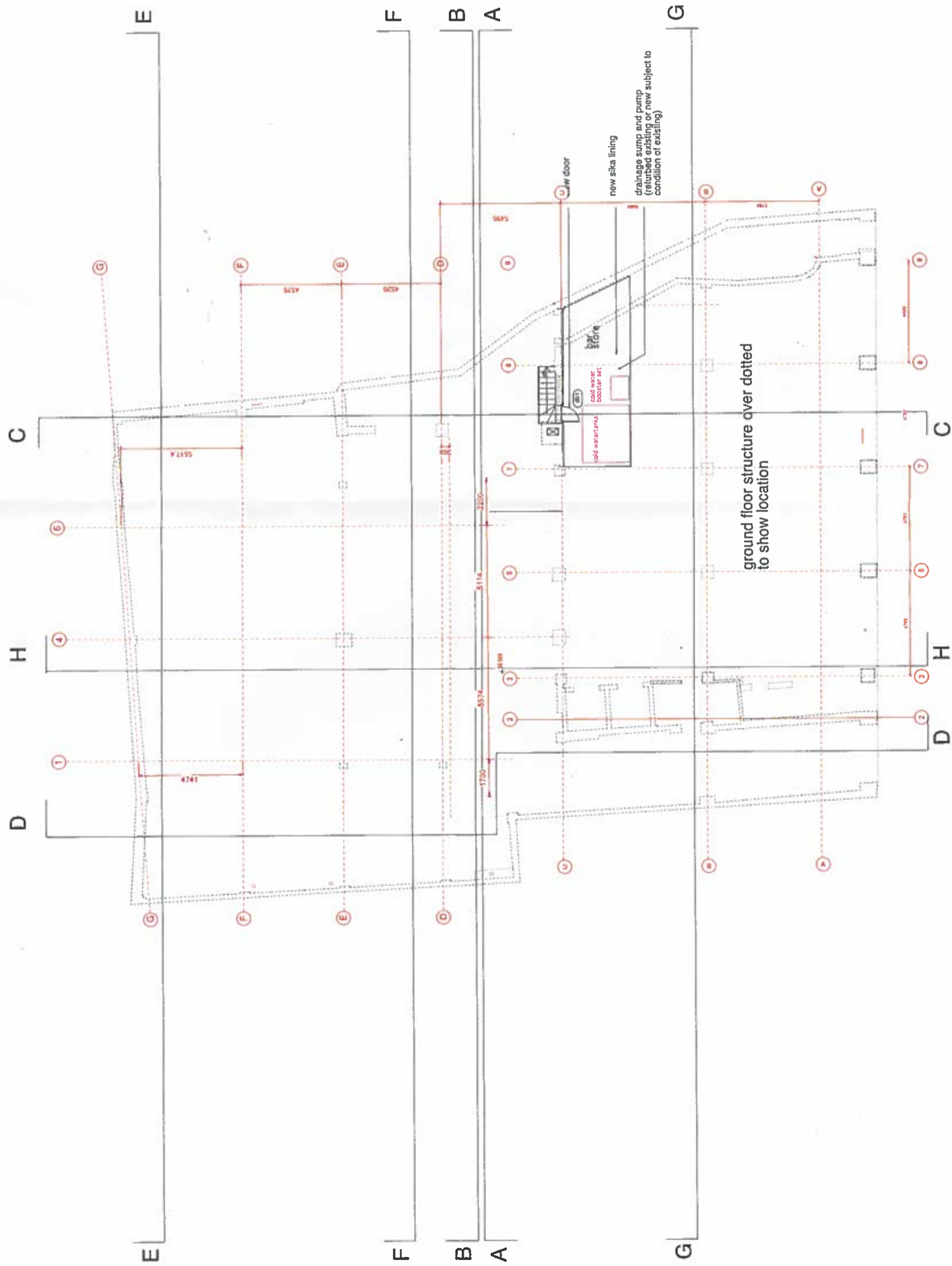
|           |  |
|-----------|--|
| Signature |  |
| Date      |  |
| Capacity  |  |

Contact name (where not previously given) and postal address for correspondence associated with this application (please read guidance note 13)

(Ref: Mr Carl Bruder)  
 EAD Solicitors LLP,  
 Prospect House,  
 Columbus Quay,  
 Riverside Drive

|   |            |          |        |
|---|------------|----------|--------|
| Post town   | Liverpool  | Postcode | L3 4DB |
| Telephone number (if any)   | [REDACTED] |          |        |
| If you would prefer us to correspond with you by e-mail, your e-mail address (optional) |            |          |        |
| [REDACTED]  |            |          |        |

# Appendix 2



D 21 11 16 grid updated, bar pumps relocated to ground floor  
 C 23 07 16 note added re sump and pump  
 B 23 01 16 louvers omitted to door and panel in wall adjacent at high level  
 A. HW tanks pumps expansion etc relocated to ground floor plant room.  
 bar store relocated to basement.

103 -107 New Road  
 Whitechapel E1 1HJ

Basement plan

|  |                         |
|--|-------------------------|
| Synthesis _ Architecture                           |                         |
| 9 Courthouse Rd, London, Whitechapel, E2 2JL       |                         |
| Tel: 01773 122111 email: info@synthesis-arch.co.uk |                         |
| Scale: 1:100 @ A1, 1:200 @ A3                      | SA 51   100   D   02/15 |

**LBTH**  
**TRADING STANDARDS**  
 - 1 FEB 2017  
**LICENSING**



new steel stair, in 60min FR blockwork enclosure for stair, structural modifications and trimmers etc see structural engineers drawings. see also drawing SAST 405

new 60 min FR plasterboard partitions throughout

new service lift in new lift shaft, new lift pit etc to structural engineers detail

kitchen cupbs and worktop with washing machine, microwave, sink etc

approx location of beams shown (coloured - not surveyed)

new fully fitted disabled wc

existing door opening infilled to match adjacent

existing window removed opening infilled in brick/block for lift shaft - see structural engineers spec drawings

new lifts in new lift shafts, new openings, trimmer beams, lift pit etc to structural engineers detail

existing stair 3 to 1st floor removed completely at ground

raised timber (sleepers) floor - see balcony designers drawings

see interior designers drawings for reflected ceiling plan, lighting layout, floor, ceiling, wall finishes etc see CBG M&E drawings for services distribution, lancel locations etc

levels shown thus +3173 = approx levels measured from existing FFL no existing FFL values - approx location of beams shown - not surveyed

0 0.5 1 2 3 4 5

**Ground floor plan**

1 To 11  
 13 To 24

fully fitted staff wcs

121

Kitchen walls internally lined in MRply with whitelock finish

existing concrete escape stair retained, pressure cleaned with new grades ADMS rotings, handrail redecorated in black hammerite

10mm microscreeed on 50mm insulating screed on new dpm on existing slab

make good around new openings already formed

new hard landing finishes on existing slab - see interior designers drawings

new enclosure around stair,

element of basement dotted

existing glazed brickwork/tiling retained and returned to concrete floor cleaned, ceilings and walls redecorated

polished microscreeed on 50mm screed on new concrete floor slab to structural engineers detail on insulation with new dpm cast to slope to front of ground floor

beer pump and store under stair with 100mm dia plastic ducts under floor from beer store to bar

polished microscreeed on 50mm screed on new concrete floor slab to structural engineers detail on insulation with new dpm cast to slope to front of ground floor

bottom step cut to curved end existing handrails retained, re-used and redecorated

O 21 11 16 grid updated for phase 2 finished floor levels added, ramped slab removed

N 21 10 16 bar hoist omitted bar updated, beer store pumps located under stair 1. Service ducts added ground floor, reduction in width to stair 1 omitted, notes updated

M 29 09 16 outline of existing retained walls corrected to new survey, reassessed lights in ground floor slab shown

stair 3 omitted adjacent to re-use desk/drawers to re-use bins in place of fire curtain.

L 22 08 16 dimensions added to drainage

V 16 09 16 incoming water supply indicated, drainage superposed onto plan

H 29 07 16 4 new columns added, notes amended re relocated staff shower and staff room, rooflights above pool access hatch over stair to basement with drainage channel around, door dg 2 omitted, sink added to front bar, glass block 60min FR wall added in place of part Screen S16. Screen S16 reduced in length

G 20 06 16 sinks added in meeting room, FWC, coffee bar. Bar hoist added, new opening and door dg 44 added between bar and external yard

F 23 03 16 manholes / rwp / svps updated

E 11 03 16 lift shafts realigned to match lift set out drawings

D 29 01 16 lifts 1 & 2 shafts related to align with existing walls/stair 2 and walls adjacent updated.

C 29 11 15 lift shafts located and dimensioned

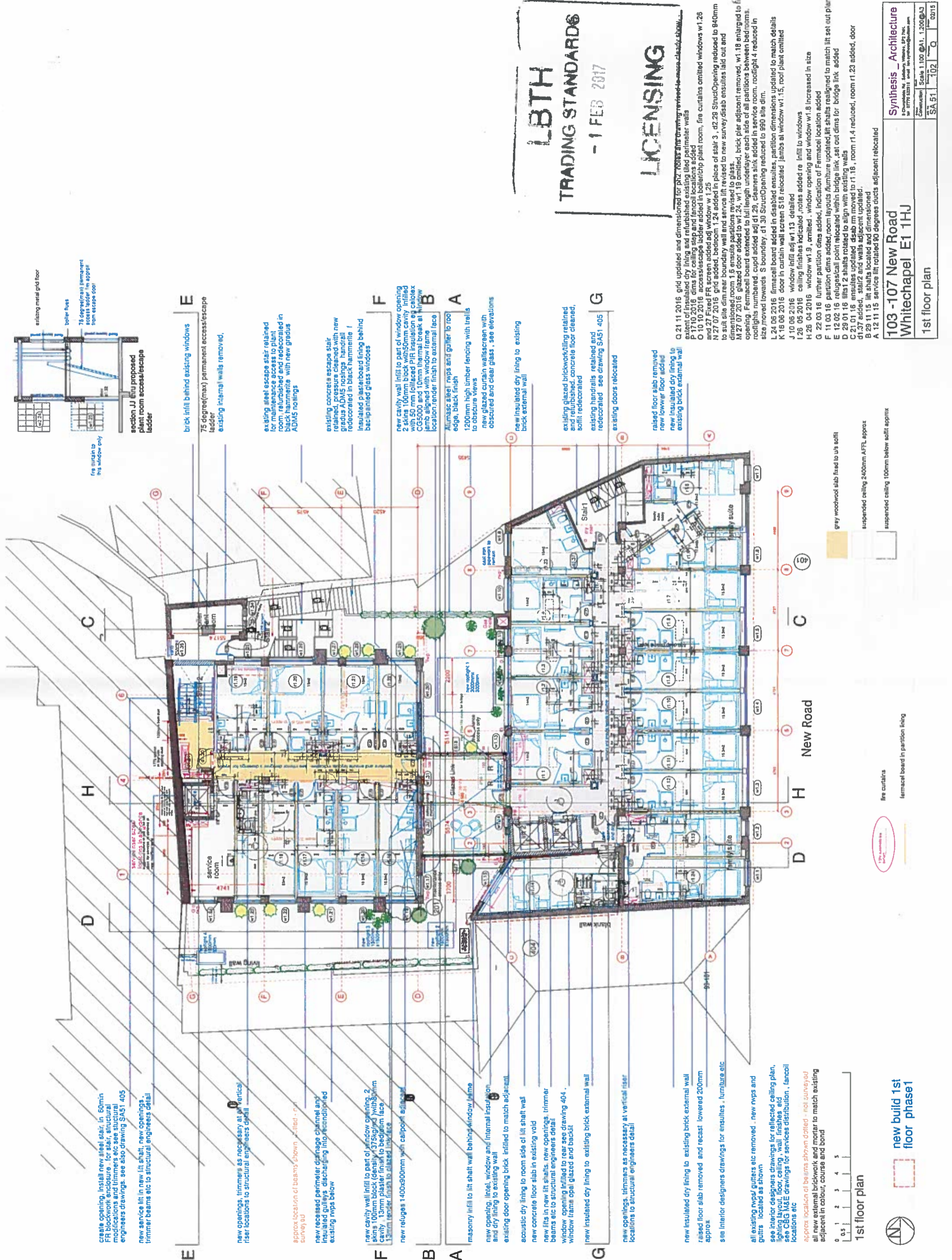
B 12 11 15 service lift rotated 90 degrees, ducts adjacent relocated, store added adjacent, door dg 16 reduced to match

A 12 08 15 back of house refuse corridor, stores, offices and staff facilities layout revised, plant room added, UKFN omitted, bar store relocated to basement.

**103 - 107 New Road**  
**Whitechapel E1 1JH**  
**Ground floor plan**

Synthesis Architecture  
 103 - 107 New Road  
 Whitechapel E1 1JH  
 London E1 1JH  
 Tel: 020 7778 8200  
 Email: info@synthesis-arch.co.uk

Construction Scale: 1:100 @ A1, 1:200 @ A3  
 SA 51 101 0 02/15



create opening, install new steel stair, in 60min FR blockwork enclosure for stair, structural modifications and trimmers etc see structural engineers drawings. see also drawing SA51 405

new service lift in new lift shaft, new openings trimmer beams etc to structural engineers detail

new openings, trimmers as necessary at vertical riser locations to structural engineers detail

approx location of beams shown, tilted - not surveyed

new recessed perimeter drainage channel and insulated gulleys discharging into reconditioned existing rvs below

new cavity wall in part of window opening, 2 skins 100mm block density 375kg/m<sup>3</sup> with 50mm cavity, 13mm plaster finish to bedroom face, 13mm render finish to glazed link face

new reluges 1400x900mm with callpoint adjacent

masonry in fill to lift shaft wall behind window frame

new opening, lintel, window and internal insulation, and dry lining to existing wall

existing door opening brick infilled to match adjacent

acoustic dry lining to room side of lift shaft wall

new concrete floor slab in existing void

new lifts in new lift shafts, new openings, trimmer beams etc to structural engineers detail

window opening infilled to rear see drawing 404, window frame open glazed and backlit

new insulated dry lining to existing brick external wall

new openings, trimmers as necessary at vertical riser locations to structural engineers detail

new insulated dry lining to existing brick external wall

raised floor slab removed and recast lowered 200mm approx

see interior designers drawings for ensuites, furniture etc

all existing rvs/gutters etc removed - new rvs and gutters located as shown

see interior designers drawings for reflected ceiling plan, lighting layout, floor, ceiling, wall finishes etc

see CBG M&E drawings for services distribution, fancoil locations etc

approx location of beams shown, tilted - not surveyed

all new external brickwork and mortar to match existing adjacent in colour, course and bond

fire curtains  
formcell board in partition lining

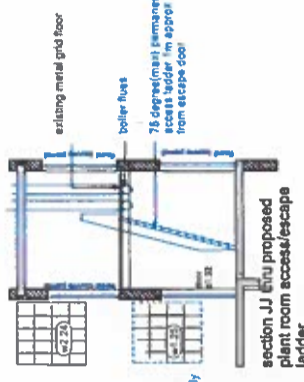


new build 1st floor phase 1

1st floor plan

0 0.5 1 2 3 4 5

- gray woodwork slab fixed to U's soffit
- suspended ceiling 2400mm AFPL approx
- suspended ceiling 100mm below soffit approx



section JJ (new proposed) plant room access/escape ladder

brick in fill behind existing windows

75 degree(max) permanent access/escape ladder

existing steel escape stair retained for maintenance access to plant room, refurbished and redecorated in black hammerite with new gradus ADMS nosings

existing concrete escape stair retained, pressure cleaned with new gradus ADMS nosings handrail redecorated in black hammerite / insulated plasterboard lining behind back-painted glass windows

new cavity wall in part of window opening 2 skins 100mm block with 50mm cavity, infilled with 50 mm foil faced PIR insulation eg celotex CG5000 and 10mm thermal break at window jamb aligned with window frame location, render finish to external face

Alumasc steel rvs and gutter to roof edge, black finish

1200mm high timber fencing with trellis to obscure views

new glazed curtain wallscreen with obscured and clear glass, see elevations

new insulated dry lining to existing brick external wall

existing glazed brickwork/tiling retained and polished concrete floor cleaned, soffit redecorated

existing handrails retained and redecorated see drawing SA51 405

existing doors relocated

raised floor slab removed new lower floor added

new insulated dry lining to existing brick external wall

**LBTH**  
**TRADING STANDARDS**  
- 1 FEB 2017  
**LICENSING**

Q 21 11 2016 grid updated and dimensioned for pit, notes and drawing revised to match existing drawings  
P 17 10 2016 dims for ceiling step and fancoil locations added  
O 10 10 2016 access/escape ladder added in boiler/chip plant room, fire curtains omitted windows w1.26 and 27  
N 27 07 2016 grid added, bedroom 1.24 added in piece of stair 3, d2.26 StructOpening reduced to 840mm to suit site dim, rear boundary wall and service lift revised to new survey, disab ensuites laid out and dimensioned, room 1.5 ensuite partitions revised to glass.  
M 27 07 2016 glazed door added to w1.24, w1.18 omitted, brick pier adjacent removed, w1.18 enlarged to fit opening, Formacell board extended to full length underlayer each side of all partitions between bed rooms, rooflights numbered S boundary, d1.30 StructOpening reduced to 990 site dim.  
L 24 06 2016 firecell board added in disabled ensuites, partition dimensions updated to match details  
K 16 06 2016 door in curtain wall screen S18 relocated, jambs at window w1.15, roof plant omitted  
J 10 08 2016 window in fill w1.13 detailed  
I 26 05 2016 ceiling finishes indicated, notes added re in fill to windows  
H 26 04 2016 window w1.9, omitted, window opening and window w1.8 increased in size  
G 22 03 16 further partition dims added, indication of Formacell location added  
F 11 03 16 partition dims added, room layouts/furniture updated, lift shafts realigned to match lift set out plans  
E 12 02 16 reluges/call point relocated within bridge link, set out dims for bridge link added  
D 29 01 16 lifts 1 & 2 shafts rotated to align with existing walls  
C 21 01 16 ensuites updated, disab rm moved to r1.18, room r1.4 reduced, room r1.23 added, door d1.37 added, stair/2 end walls adjacent updated.  
B 29 11 15 lift shafts located and dimensioned  
A 12 11 15 service lift rotated 90 degrees ducts adjacent relocated

**103 - 107 New Road**  
**Whitechapel E1 1JH**  
1st floor plan  
Synthesis Architecture  
Scale 1:100 @ A1, 1:200 @ A3  
SA 51 102 Q 0215

create opening, install new steel stair in 60min FR blockwork enclosure for stair structural modifications and trimmers etc see structural engineers drawings. see also drawing SA51 405

new service lift in new lift shaft, new openings, trimmer beams etc to structural engineers detail

new openings, trimmers as necessary at all vertical riser locations to structural engineers detail

approx location of beams shown dotted red

new cavity wall infill to part of window opening, 2 skins 100mm block (density 1375kg/m<sup>3</sup>) with 50mm cavity, 13mm plaster finish to bedroom face, 13mm render finish to glazed lift face

new refuge 1400x900mm with callpoint adjacent

masonry infill to lift shaft wall behind window frame

new opening, lintel, window in new cavity brick wall with matching brick external face

acoustic dry lining to room side of lift shaft wall

new concrete floor slab in existing void to struct eng detail

new lifts in new lift shafts, new openings, trimmer beams etc to structural engineers detail

new insulated cavity wall with matching brick external face

Window opening infilled to rear see drawing 404, window frame opal glazed and backlit

new openings, trimmers as necessary at vertical riser locations to structural engineers detail

see interior designers drawings for ensuite, furniture etc new insulated dry lining to existing brick external wall

all existing nvsps gutters etc removed, new nvsps and gutters located as shown

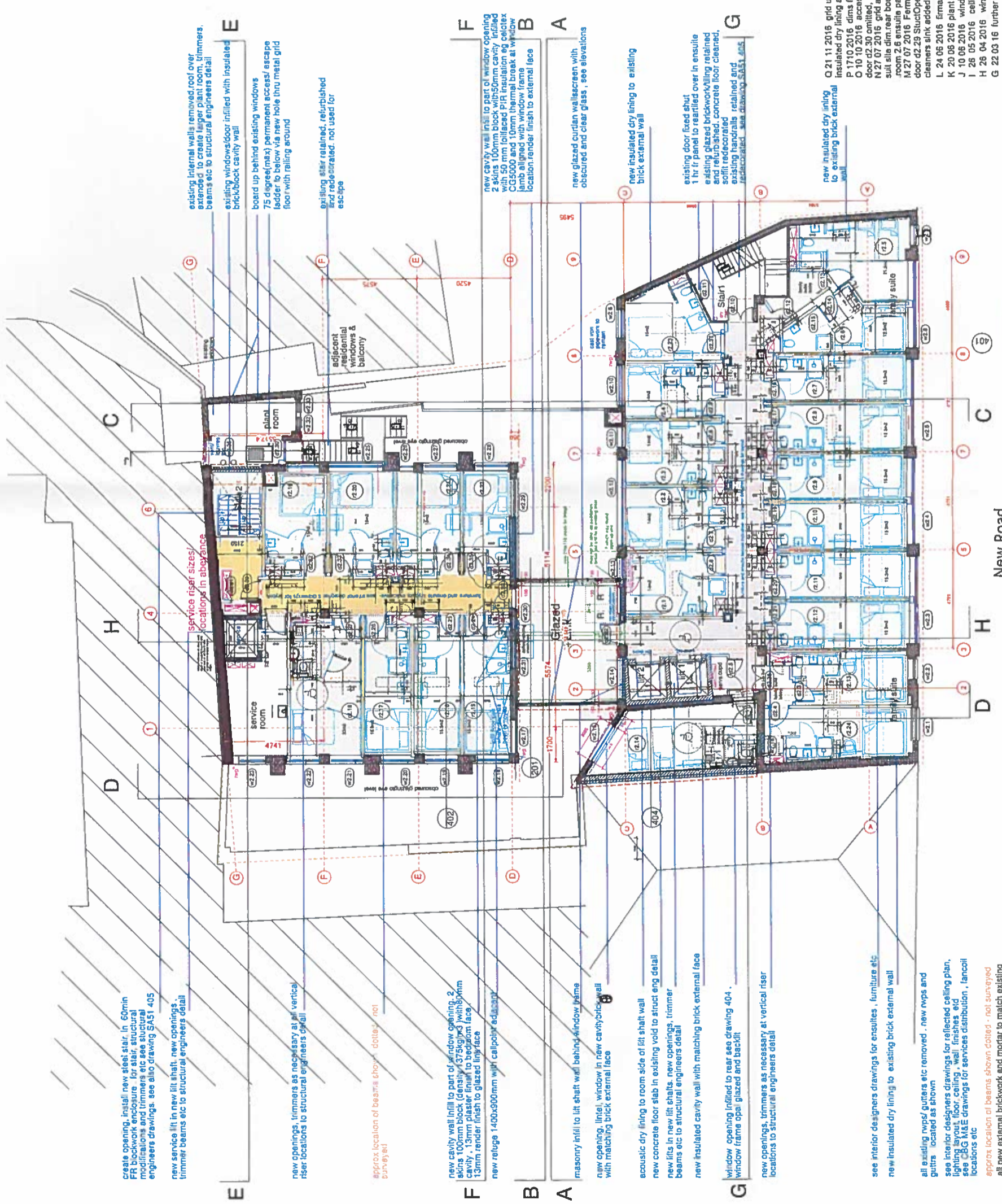
see interior designers drawings for reflected ceiling plan, lighting layout, floor, ceiling, wall finishes, etc see C&G M&E drawings for services distribution, lancoll locations etc

approx location of beams shown dotted, not surveyed all new external brickwork and mortar to match existing adjacent in colour, course and bond

0 0.5 1 2 3 4 5  
2nd floor plan



new build 2nd floor phase 1



existing internal walls removed, roof over extended to create larger plant room, trimmers, beams etc to structural engineers detail

existing windows/door infilled with insulated brick/block cavity wall

board up behind existing windows 75 degree(max) permanent access/escape ladder to below via new hole thru metal grid floor with railing around

existing stair retained, refurbished and redecorated, not used for escape

new cavity wall infill to part of window opening 2 skins 100mm block with 50mm cavity infilled with 50 mm foillaced PIR insulation eg celotex CG5000 and 10mm thermal break at window jamb aligned with window frame location render finish to external face

new glazed curtain wall/screen with obscured and clear glass, see elevations

new insulated dry lining to existing brick external wall

existing door fixed shut 1 hr fire panel to reutilised over in ensuite existing glazed brickwork/walling retained and refurbished, concrete floor cleaned, soffit redecorated existing handrails retained and redecorated see drawing SA51 405

new insulated dry lining to existing brick external wall

- grey woodwool slab fixed to u/s soffit
- suspended ceiling 2400mm AFFL approx
- suspended ceiling 100mm below soffit approx

fire curtains  
Fermacell board in partition lining

# LBTH TRADING STANDARDS - 1 FEB 2017 LICENSING

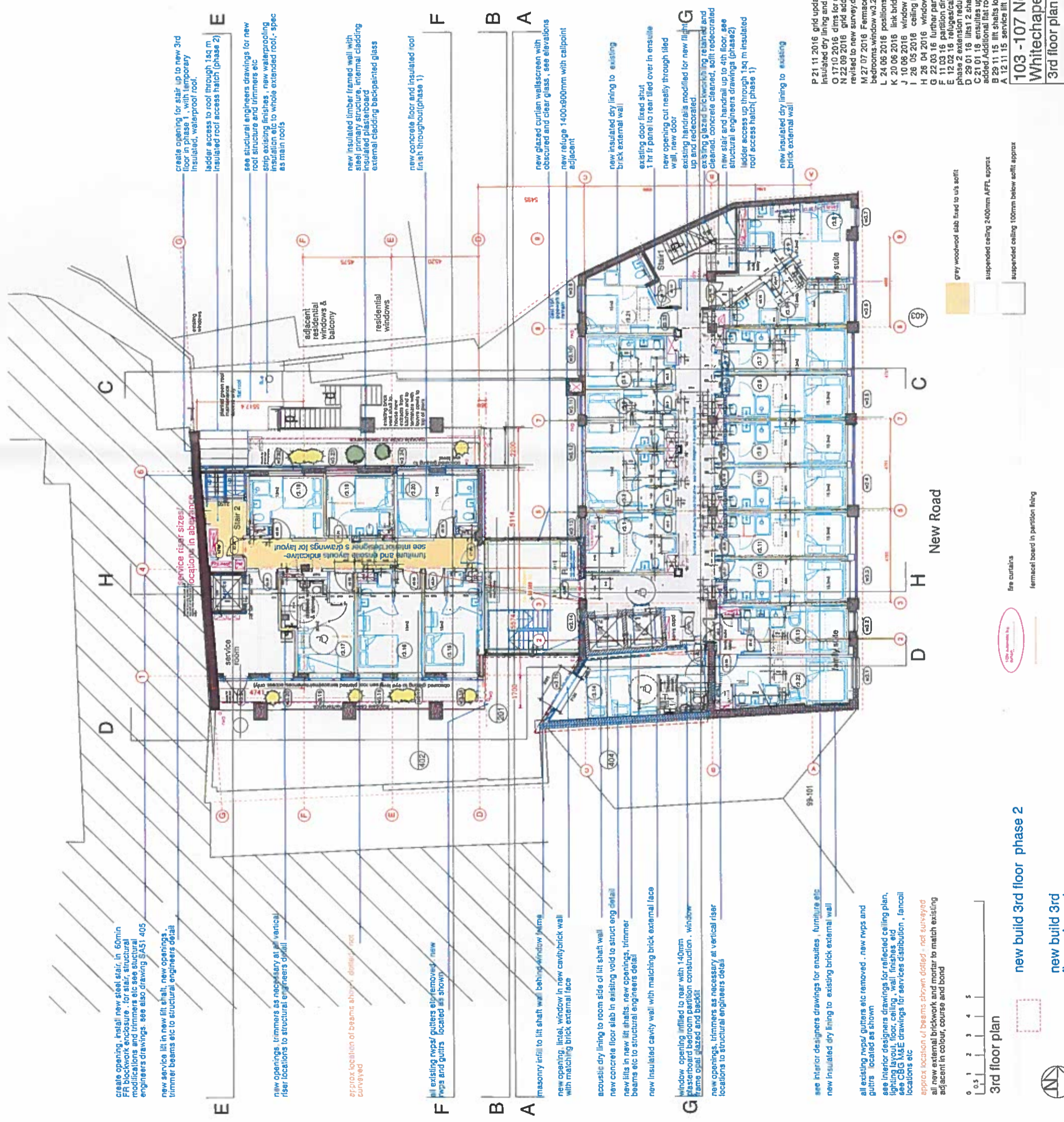
Q 21 11 2016 grid updated and dimensioned for ph2, notes ans drawing revised to more clearly show extent of insulated dry lining and refurbished existing tiled perimeter walls  
P 17 10 2016 dims for ceiling step and lancoll locations added  
O 10 10 2016 access/escape ladder added in boiler/chip plant room, fire curtains omitted windows W2 24, 25, 26 door d2.30 omitted, becomes lounge panel, ladder and hatch access to roof above stair2 omitted, 940mm to N 27 07 2016 grid added, bedroom 2.24 added in place of stair 3, G2.28 StructOpening reduced to 940mm to suit site dim: rear boundary wall and service lift revised to new survey, disab ensuite laid out and dimensioned room 2.6 ensuite partitions revised to glass.  
M 27 07 2016 Fermacell board extended to full length underlayer each side of all partitions between bedrooms, door d2.29 StructOpening reduced to 950mm to suit site dim: cupd added adj d2.28  
L 24 06 2016 fermacell board added in disabled ensuite, partition dimensions updated to match details  
K 20 06 2016 plant shown at 1st floor omitted  
J 10 06 2016 window infill adj w2.13 detailed  
I 26 05 2016 ceiling finishes indicated, notes added re infill to windows  
H 26 04 2016 window w2.9, omitted, window opening and window w2.8 increased in size  
G 22 03 16 further partition dims added, indication of Fermacell location added  
F 11 03 16 partition dims added, room layouts /furniture updated lift shafts realigned to match lift set out plans  
E 12 02 16 refuges/call point relocated within bridge link, set out dims for bridge link added  
D 29 01 18 lift 1 2 shafts rotated to align with existing walls  
C 21 01 16 ensuite updated disab rm moved to r2.18, room r2.4 reduced, room r2.23 added, door d 2.37 added, extension of plant room roof adj bc block omitted, stair2 and walls adjacent updated  
B 29 11 15 lift shafts located and dimensioned  
A 12 11 15 service lift rotated 90 degrees ducts adjacent relocated

**103 - 107 New Road  
Whitechapel E1 1HJ**  
2nd floor plan

Synthesis Architecture  
6 Charlotte St, London, W1D 3JF, UK  
Tel: 07778 328111, email: info@synthesisarch.com

Scale: 1:100 @ A1, 1:200 @ A3  
Construction: 103 | 103 | Q | SA51 | 0215

# LBTH TRADING STANDARDS - 1 FEB 2017 LICENSING



create opening, install new steel stair, in 60min FR blockwork enclosure, for stair, structural modifications and trimmers etc see structural engineers drawings. see also drawing SA51.405

new service lift in new lift shaft, new openings, trimmer beams etc to structural engineers detail

new openings, trimmers as necessary at vertical riser locations to structural engineers detail

approx location of beams shown, double check curved

all existing rips/ gutters also removed, new rips and gutters located as shown

masonry infill to lift shaft wall behind window frame

new opening, lintel, window in new cavity brick wall with matching brick external face

acoustic dry lining to room side of lift shaft wall

new concrete floor slab in existing void to struct eng detail

new lites in new lift shafts, new openings, trimmer beams etc to structural engineers detail

new insulated cavity wall with matching brick external face

Window opening infilled to rear with 140mm plasterboard bedroom partition construction, window frame opal glazed and becket

new openings, trimmers as necessary at vertical riser locations to structural engineers detail

see interior designers drawings for ensuites, furniture etc

new insulated dry lining to existing brick external wall

all existing rips/ gutters etc removed, new rips and gutters located as shown

see interior designers drawings for reflected ceiling plan, lighting layout, floor, ceiling, wall finishes, etc see CBG M&E drawings for services distribution, fencoll locations etc

approx location of beams shown dotted - not surveyed

all new external brickwork and mortar to match existing adjacent in colour, course and bond

0 0.5 1 2 3 4 5

3rd floor plan

new build 3rd floor phase 2

new build 3rd floor phase 1

fire curtains

ferracell board in partition lining

grey woodwork slab fixed to u/s soffit

suspended ceiling 2400mm AFFL approx

suspended ceiling 100mm below soffit approx

create opening for stair up to new 3rd floor in phase 1, with temporary insulated, waterproof roof, ladder access to roof through 1sq m insulated roof access hatch (phase 2)

see structural engineers drawings for new roof structure and trimmers etc strip existing finishes, new waterproofing insulation etc to whole extended roof, spec as main roofs

new insulated timber framed wall with steel primary structure, internal cladding insulated plasterboard external cladding backpainted glass

new concrete floor and insulated roof finish throughout (phase 1)

new glazed curtain wallscreen with obscured and clear glass, see elevations

new refuge 1400x600mm with callpoint adjacent

new insulated dry lining to existing brick external wall

existing door fixed shut 1 fire panel to rear tied over in ensuite wall, new door

new opening cut neatly through tiled up and redecorated

existing handrails modified for new flight

existing glazed brickwork retaining wall cleaned, concrete cleaned, soffit redecorated

new stair and handrail up to 4th floor, see structural engineers drawings (phase 2)

ladder access up through 1sq m insulated roof access hatch (phase 1)

new insulated dry lining to existing brick external wall

- P 21 11 2016 grid updated and dimensioned for ph2, notes and drawing revised to more clearly show extent of insulated dry lining and refurbished existing tiled perimeter walls
- O 17 10 2016 dims for ceiling step and fencoll locations added
- N 23 09 2016 grid added, New bedroom 3.22 added in place of Stair 3, rear boundary wall and service lift revised to new survey, disab ensuites laid out and dimensioned, room 2.6 ensuite partitions revised to glass.
- M 27 07 2016 Ferracell board extended to full length underlayer, each side of all partitions between bedrooms, window w3.25 omitted (phase 2) Blockwork support added in risers to support new slab edges over bedrooms, window w3.25 omitted (phase 2) Blockwork support added in disabled ensuites, partition dimensions updated to match details
- L 24 06 2016 positions of ferracell board added in disabled ensuites, partition dimensions updated to match details
- K 20 06 2016 link bridge widened, plant shown at 1st floor omitted
- J 10 05 2016 window infill adj w3.13 detailed
- I 28 05 2016 ceiling finishes indicated, notes added re infill to windows
- H 26 04 2016 window w3.9 omitted, window opening and window w3.8 increased in size
- G 22 03 16 further partition dims added, indication of Ferracell location added
- F 11 03 16 partition dims added, room layouts, furniture updated, lift shafts realigned to match lift set out drawings
- E 12 02 16 refuges/call point relocated within bridge link, set out dims for bridge link added
- D 29 01 16 phase 2 extension reduced along N elevation and sloping roof added over stair 2
- C 21 01 16 lift shafts rotated to align with existing walls
- B 29 11 15 lift shafts updated, disab rm moved to r3.17, room r3.4 reduced, room r3.21 added, door d 3.33 added, Additional flat roof adj old wc block omitted, stair 2 and walls adjacent updated.
- A 12 11 15 service lift rotated 90 degrees ducts adjacent relocated

**103 - 107 New Road  
Whitechapel E1 1HJ  
3rd floor plan -**

|   |              |
|---|--------------|
| Synthesis Architecture  |              |
| 103 Whitechapel Rd, London, Whitechapel, E1 1HJ, UK<br>Tel: 07789 132513 email: info@synthesis-arch.com |              |
| Scale: 1:100 @ A1, 1:200 @ A3   | Project: 104 |
| Client: SA 51   | Phase: P     |
| Drawn: SA 51  | Rev: 02/15   |





new lead flashings to full length of junction of new walls and lift overrun with adjacent building

new service lift in new lift shaft and overrun, new openings, trimmer beams etc to structural engineers detail

new openings, trimmers as necessary at all vertical riser locations to structural engineers detail

ROOF PLANT - INDICATIVE LAYOUT (see M&E consultant drawings for detailed layout)

new parapet and glass balustrade (phase 2)

new insulated cavity wall with matching brick external face

new lifts in new lift shafts, new openings, trimmer beams etc to structural engineers detail

new concrete slab and finishes

new hot tubs and roof terrace finishes (phase 2)

all existing rws/gutters etc removed - new rws and gutters located as shown

see interior designers drawings for reflected ceiling plan, lighting layout, floor, ceiling, wall finishes etc see M&E drawings for services distribution, fancoil locations etc

exposed location of beams shown dotted - not surveyed all new external brickwork and mortar to match existing adjacent in colour, course and bond



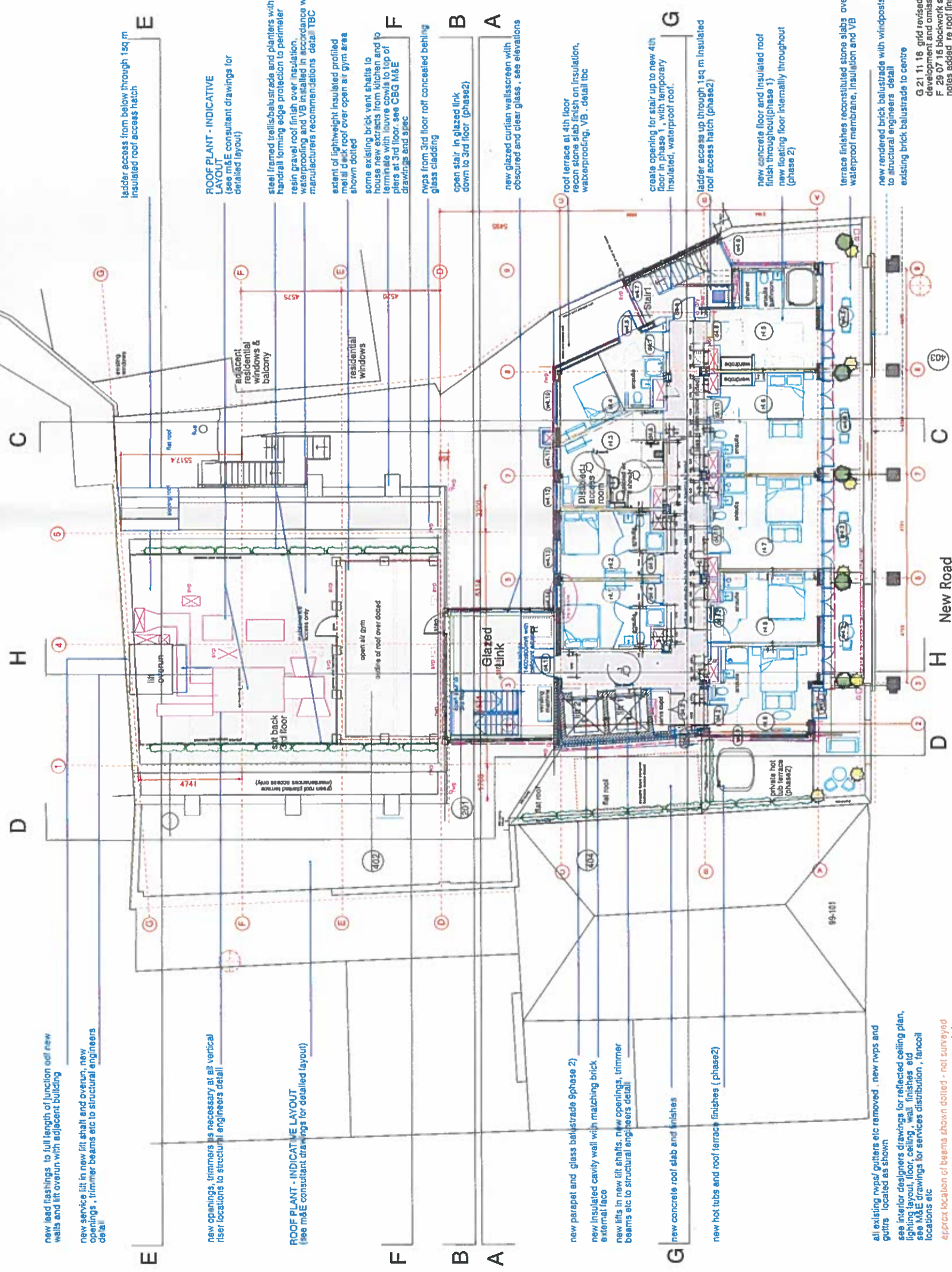
4th floor plan

new build 4th floor phase 2



additional rooftop works

intercell board in partition lining



ladder access from below through 1sq m insulated roof access hatch

ROOF PLANT - INDICATIVE LAYOUT (see M&E consultant drawings for detailed layout)

steel framed trellis/balustrade and planters with handrail forming edge protection to perimeter, resin gravel roof finish over insulation, waterproofing and VB installed in accordance with manufacturers recommendations detail TBC

extent of lightweight insulated profiled metal deck roof over open air gym area shown dotted some existing brick vent shafts to be removed from kitchen and to terminate with lattice covers to top of planters at 3rd floor, see CBG M&E drawings and spec

rws from 3rd floor roof concealed behind glass cladding

open stair, in glazed link down to 3rd floor (phase 2)

new glazed curtain wallscreen with obscured and clear glass, see elevations

roof terrace at 4th floor recon stone slab finish on insulation, waterproofing, VB, detail tbc

create opening for stair up to new 4th floor with temporary insulated, waterproof roof.

ladder access up through 1sq m insulated roof access hatch (phase 2)

new concrete floor and insulated roof finish throughout (phase 1) new floating floor internally throughout (phase 2)

terrace finishes reconstructed stone slabs over waterproof membrane, insulation and VB

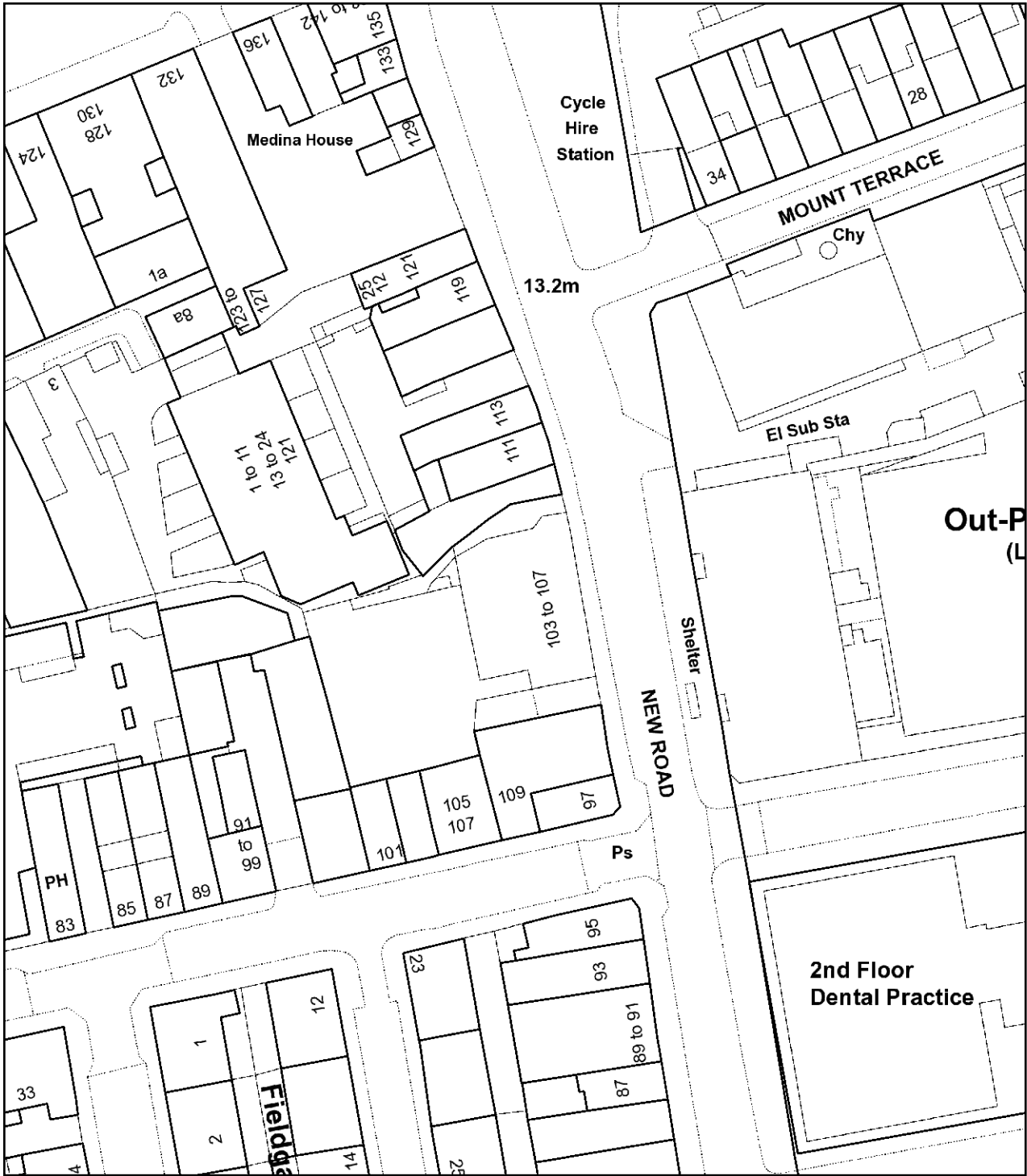
new rendered brick balustrade with windposts to structural engineers detail existing brick balustrade to centre

- G 21 11 16 grid revised for new steel centres, layout revised to accommodate structure and cladding development and omission of baths in ensuite.
- F 29 07 16 blockwork support added in risers to support new slab edges over, ceiling materials added notes added re roof finishes, gym and trellis to rear building perimeter
- E 20 06 16 layout of phase 2 bedrooms revised generally, one bedroom added, glazed link widened gym, planted trellis and bedroom container locations shown.
- D 22 03 16 service riser hole locations added, dims for corridor partitions added
- C 11 03 16 lift shafts realigned to match lift set out drawings sloping roof over stair2, set backs on rear building revised
- B 29 01 16 lifts 1 & 2 shafts rotated to align with existing walls
- A 29 11 15 lift shafts located and dimensioned

**LBTH**  
TRADING STANDARDS  
- 1 FEB 2017  
**LICENSING**

|  |  |                           |  |
|--|--|---------------------------|--|
| 103 -107 New Road<br>Whitechapel E1 1HJ      |  | Synthesis Architecture    |  |
| 4th floor plan-proposed additional floor ph2 |  | Scale 1:100 @A1, 1:200@A3 |  |
| SA 51  |  | 105 6                     |  |
| 02/15  |  | 02/15                     |  |

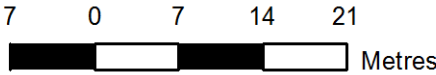
# Appendix 3



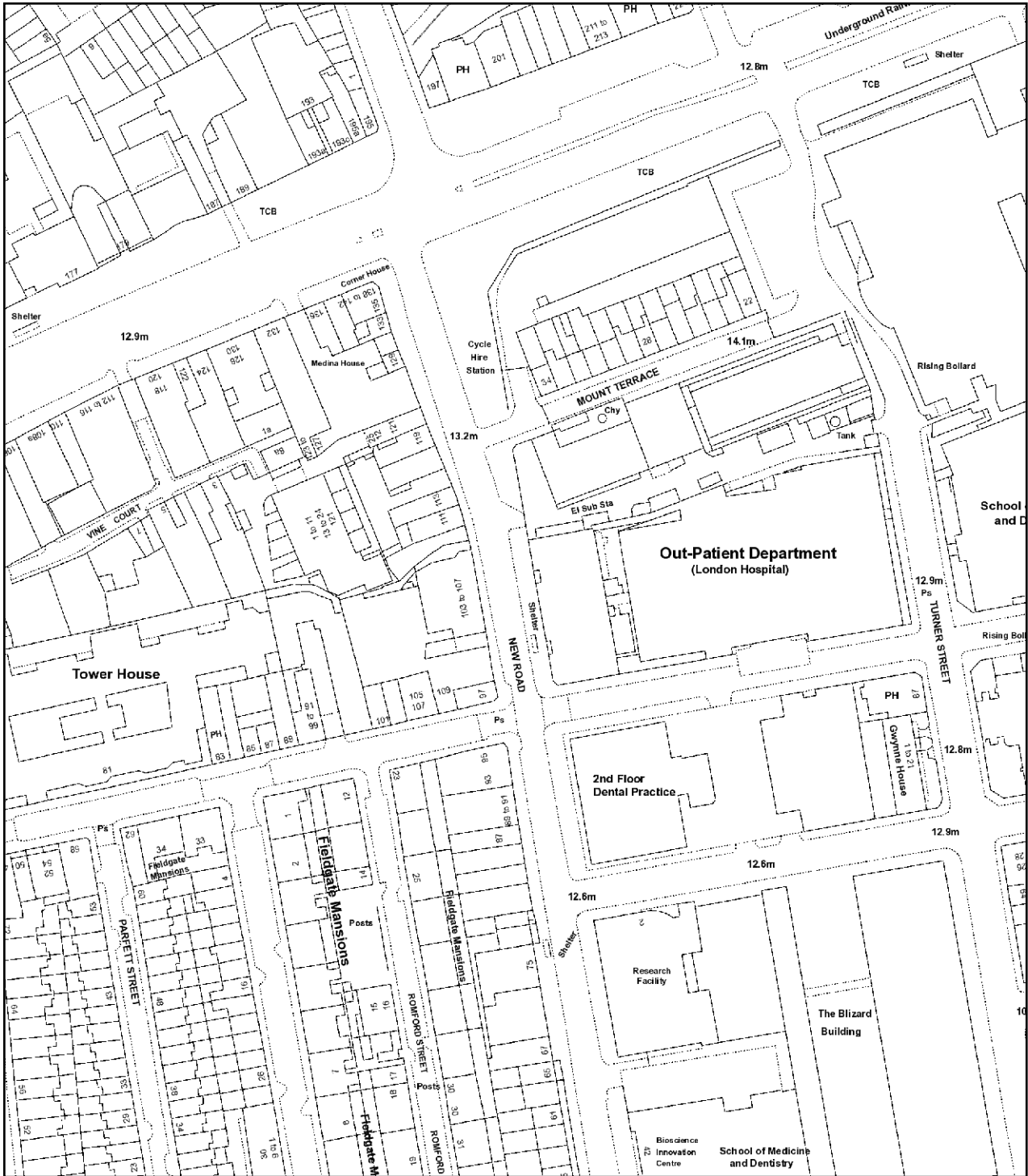
# 103-107 New Road



Scale 1:769



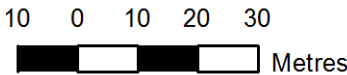
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# 103-107 New Road



Scale 1:1537



# Appendix 4

|                        |                      |   |
|------------------------|----------------------|---|
| Bar Nakoda             | 199 Whitechapel Road | <p><b>Supply of Alcohol</b><br/>Monday to Saturday 11 00 hrs to 03 00 hrs<br/>Sunday 12 00 hrs to 03 00 hrs</p> <p><b>Late Night Refreshment</b><br/>Monday to Sunday 23 00 hrs to 03 00 hrs</p> <p><b>Regulated Entertainment</b><br/>Recorded Music<br/>Monday to Sunday 07 00 hrs to 03 00 hrs<br/>Live Music<br/>Monday to Friday 18 00 hrs to 02 00 hrs<br/>Saturday and Sunday 12 00 hrs to 02 00 hrs<br/>Performance of Dance<br/>Monday to Sunday 18 00 hrs to 02 00 hrs</p>  |
| Shelley Food & wine    | 193c Whitechapel Rd  | <p><b>Sale of Alcohol</b><br/>Monday to Sunday 24 hours</p>   |
| London Hospital Tavern | 176 Whitechapel Rd   | <p><b>Sale of Alcohol and Late Night Refreshment</b><br/>Sunday to Thursday 07 00 hrs to 02 00 hrs<br/>Friday and Saturday 07 00 hrs until 03 00 hrs</p> <p><b>Recorded Music</b><br/>Sunday to Thursday 07 00 hrs to 02 00 hrs<br/>Friday and Saturday 07 00 hrs until 03 00 hrs</p> <p><b>Live Music</b><br/>Sunday to Thursday 18 00 hrs to 02 00 hrs<br/>Friday and Saturday 18 00 hrs until 03 00 hrs</p>  |
| Indo                   | 133 Whitechapel Rd   | <p><b>Alcohol and recorded music</b><br/>Sunday to Thursday, 10:00 hrs to 01:00 hrs<br/>Friday and Saturday, 10:00 hrs to 03:00 hrs</p> <p><b>Live music</b><br/>Monday to Thursday, 19:00 hrs to 23:00 hrs<br/>Friday to Sunday, 12:00 hrs to 01:00 hrs</p> <p><b>Late Night Refreshment</b><br/>Sunday to Thursday, 23:00 hrs to 01:30 hrs<br/>Friday and Saturday, 23:00 hrs to 03:30 hrs</p> <p><b><u>Non-standard times</u></b><br/>Christmas Eve, New Years Eve St George's Day and St Patrick's Day until 03:00 hrs the following day.</p> |
| New Road Off licence   | 109 New Road         | <p><b>Sale of Alcohol</b><br/>Monday to Sunday from 09:00hrs to 00:00hrs</p>  |
| Fab Fried Chicken      | 131 new Road         | <p><b>Late Night Refreshment</b><br/>Monday to Sunday until 02:00 hours</p>   |

# Appendix 5

## **Section 182 Advice by the Home Office Updated on March 2015**

### Relevant, vexatious and frivolous representations

- 9.4 A representation is “relevant” if it relates to the likely effect of the grant of the licence on the promotion of at least one of the licensing objectives. For example, a representation from a local businessperson about the commercial damage caused by competition from new licensed premises would not be relevant. On the other hand, a representation by a businessperson that nuisance caused by new premises would deter customers from entering the local area, and the steps proposed by the applicant to prevent that nuisance were inadequate, would be relevant. In other words, representations should relate to the impact of licensable activities carried on from premises on the objectives. For representations in relation to variations to be relevant, they should be confined to the subject matter of the variation. There is no requirement for a responsible authority or other person to produce a recorded history of problems at premises to support their representations, and in fact this would not be possible for new premises.
- 9.5 It is for the licensing authority to determine whether a representation (other than a representation from responsible authority) is frivolous or vexatious on the basis of what might ordinarily be considered to be vexatious or frivolous. A representation may be considered to be vexatious if it appears to be intended to cause aggravation or annoyance, whether to a competitor or other person, without reasonable cause or justification. Vexatious circumstances may arise because of disputes between rival businesses and local knowledge will therefore be invaluable in considering such matters. Licensing authorities can consider the main effect of the representation, and whether any inconvenience or expense caused by it could reasonably be considered to be proportionate.
- 9.6 Frivolous representations would be essentially categorised by a lack of seriousness. Frivolous representations would concern issues which, at most, are minor and in relation to which no remedial steps would be warranted or proportionate.
- 9.7 Any person who is aggrieved by a rejection of their representations on either of these grounds may lodge a complaint through the local authority’s corporate complaints procedure. A person may also challenge the authority’s decision by way of judicial review.



- 9.8 Licensing authorities should not take decisions about whether representations are frivolous, vexatious or relevant to the licensing objectives on the basis of any political judgement. This may be difficult for councillors who receive complaints from residents within their own wards. If consideration is not to be delegated, contrary to the recommendation in this Guidance, an assessment should be prepared by officials for consideration by the sub- committee before any decision is taken that necessitates a hearing. Any councillor who considers that their own interests are such that they are unable to consider the matter independently should disqualify themselves.
- 9.9 It is recommended that, in borderline cases, the benefit of the doubt about any aspect of a representation should be given to the person making that representation. The subsequent hearing would then provide an opportunity for the person or body making the representation to amplify and clarify it.
- 9.10 Licensing authorities should consider providing advice on their websites about how any person can make representations to them.

# Appendix 6

**Kathy Driver**

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**From:** Andrew Holden [REDACTED]  
**Sent:** 01 March 2017 17:06  
**To:** Licensing  
**Subject:** OBJECTION Licensing application: New Road Hotel, 103-107 New Road, E1 1HJ

**Licensing application: New Road Hotel, 103-107 New Road, E1 1HJ**

Regarding this application, I understand that it covers music and other entertainment, as well as late night refreshment and off sales of alcohol until midnight Sunday to Thursday, and 1 am on Friday and Saturday.

I request that this License Application is refused as it stands on the grounds of:

The prevention of crime and disorder,

The prevention of public nuisance.

The hotel is in a residential area of high-occupancy units including family houses with young children, HMOs and flats. It is close to the Royal London Hospital and many residents work for the hospital. New Road is heavily congested, with narrow pavements. People visiting restaurants on New Road constantly spill into side roads – particularly Walden Street, directly opposite the hotel — late at night where they continue drunken and loud socialising sometimes involving drugs.

I have personally been harassed by groups of youths around the Blizzard building, and was forced to call the police recently about this.

There is no traffic management or control of anti-social behavior in the area.

While it seems reasonable for a well-managed hotel to serve alcohol with a sit-down meal that ends at normal licencing hours, late night entertainment, a late night license and off license sales will definitely increase current nuisance levels, including noise and public disorder.

On this basis I request that this Licence Application is refused.

However, if the Licensing Committee should grant a License, to prevent public nuisance, I would ask:

1. That there are no off sales of alcohol.
2. That events that might potentially cause noise problems end at 10.30 pm Sunday to Thursday and 11 pm on Friday and Saturday nights/
3. That, other than serving alcohol with sit-down meals, alcohol in other public areas of the hotel (eg a music venue) should not be sold after 10 pm Sunday to Thursday and 11pm Friday and Saturdays.

Thank you for your attention,

Yours sincerely

Andrew Holden  
[REDACTED]  
[REDACTED]  
[REDACTED]

## Kathy Driver

---

**From:** Andrew Holden [REDACTED]  
**Sent:** 05 March 2017 13:51  
**To:** Kathy Driver  
**Subject:** RE: New Road Hotel, 103 New Road -98265

**Sensitivity:** Confidential

Dear Kathy,

Many thanks for your email. These changes DO NOT address our concerns, which is that the licence will encourage anti-social behaviour on residential streets after 11pm.

A licence after 11pm is unacceptable because it means anti-social behaviour will continue on residential streets until much later, effectively 2am every weekend night.

Many thanks,  
Andrew Holden

---

**From:** Kathy Driver [<mailto:Kathy.Driver@towerhamlets.gov.uk>]

**Sent:** 03 March 2017 19:05

**To:** undisclosed-recipients:

**Subject:** New Road Hotel, 103 New Road -98265

**Sensitivity:** Confidential

Following on from my email, I should advise you of the changes made to the application since it was first made.

The following have been agreed in consultation with Environmental Health and Police. If you feel this addresses your concerns could you please email me to withdraw your representation, otherwise we shall continue to plan for the hearing.

**Agreements:**

Residents and bona-fide guests entitled to use facilities on 24hr basis.

Removal of all other non standard timings

B. Films

1000 -midnight: all week

E: Live Music:

1200-2330: all week

F: Recorded music : removed

G: Performance of dance: removed

H: Anything similar: removed

I: Late Night Refreshment

Sun-Thur: 2300 -2330

Fri-Sat : 2330 -0030

J: Supply of alcohol  
Sun-Thur : 1030- 2330  
Fri-Sat: 1030 - 0030

L: Opening Hours  
Sun - Thur : 0800 - midnight  
Fri- Sat : 0800 - 0100

Conditions:

1. CCTV

The CCTV system shall incorporate a recording facility and any recordings shall be retained and stored in a suitable and secure manner for a minimum of 31 days. A system shall be in place to maintain the quality of the recorded image and a complete audit trail maintained. The system will comply with other essential legislation, and all signs as required will be clearly displayed. The system will be maintained and fully operational throughout the hours that the premises are open for any licensable activity.

There must also be someone on the premises, who can download the images and present them on request by a police officer or other responsible authority.

( One camera be placed o/s the entrance and on entry, )

2. No drinks to be taken outside

3. Use of incident / refusals book

4. No Music or Amplified Sound shall be generated on the premises to give rise to a nuisance to neighbouring residents

5. Loudspeakers shall not be located in the entrance lobby or outside the premises building.

6. All windows and external doors shall be kept closed after 22:00 hours, or at any time when regulated entertainment takes place, except for the immediate access & egress of persons

*Kathy Driver*

*Principal Licensing Officer*

*Toby Club, Vauxhall Close, E1 4UA*

**By Post :**  
**Licensing Team**  
**John Onslow House**  
**1 Ewart Place**  
**London**  
**E3 5EQ**

**Please note:**  
**Meetings with Licensing Officers are by prearranged appointment only.**

**Tel: 020 7364 5171**  
**Fax: 020 7364 0863**  
**Hotline: 0207 364 5008**

**General email: [licensing@towerhamlets.gov.uk](mailto:licensing@towerhamlets.gov.uk)**

**See our regular licensing news pages at [www.towerhamlets.gov.uk/licensing](http://www.towerhamlets.gov.uk/licensing)**



# Appendix 7

## Kathy Driver

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**From:** Hazel Mulligan [REDACTED]  
**Sent:** 01 March 2017 15:59  
**To:** Licensing  
**Subject:** New Road Hotel 103-107 New Road London E1 1HJ.

Dear Sir, Madam,

I am writing to you regarding a licensing application recently submitted by the New Road Hotel as above. I understand that the application is for music, other entertainment as well as off sales of alcohol until midnight Sun-Thursday, and until 1am Friday and Saturday.

I wish to object to the above application and I urge the council to refuse on the grounds of

- 1) prevention of crime and disorder
- 2) prevention of public nuisance.

The streets on both sides of New Road are residential. We already suffer constantly from

1) night time anti social behaviour from people spilling out of the restaurants on New Road. The Griff Inn has a late night bar extension once per week until 1am and we suffer constantly from rowdy drunks spilling out long after 1am. As well as that they have additional events which make our lives a misery. Recently we had an extremely unpleasant confrontation with shouting and ranting 01.10-01.30am.

2) serious problems of litter and fly tipping.

3) chronic problems associated with drugs and any night time alcohol activities will feed into that problem.

It is perfectly acceptable for a hotel to offer alcohol with meals or at the hotel bar, but off sales will have a severe detrimental impact on the local residents and their quality of life in many ways, sleep, peaceful enjoyment of their properties as well as exacerbating the already serious drug situation.

What is the nature of the license request for music?

I urge the licensing department to refuse off sales, and maintain normal licensing hours on the bar and the restaurant. Any late night extension of any activities will seriously impact on our quality of life here, and will exacerbate an already difficult situation with regard to night time antisocial behaviour, public nuisance and drug fuelled activities.

I urge licensing to refuse off sales and not to allow late night extensions.

With thanks,

Hazel Mulligan,  
[REDACTED]  
[REDACTED]

Sent from my iPad

**Mohshin Ali**

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**From:** Hazel Mulligan [REDACTED]  
**Sent:** 02 March 2017 16:16  
**To:** Licensing  
**Subject:** New Road Hotel

Dear Sir, Madam,

I would like to add to my previous email.  
Absolutely no Off Sales of alcohol  
No late night refreshment  
Alcohol sales should be restricted to ' core hours'.

The chronic problems of antisocial behaviour in our area are fuelled by alcohol and drugs. Any extra late night sales and refreshment would pile on the problems for residents, police, the local hostels, Booth House, council cleaning services, as well as hospital A&E services and many others.

I urge licensing to severely restrict the hours on this application to core hours and refuse any Off Sales.

With thanks,  
Hazel Mulligan

[REDACTED]  
[REDACTED]

Sent from my iPad



# Appendix 8

## Kathy Driver

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**From:** Mohshin Ali on behalf of Licensing  
**Sent:** 28 February 2017 18:08  
**To:** Kathy Driver  
**Subject:** FW: Ref CLC/EHTS/LIC/0982656

**From:** Hedi Samari [REDACTED]  
**Sent:** 28 February 2017 14:25  
**To:** Licensing  
**Subject:** Ref CLC/EHTS/LIC/0982656

Dear Mrs Driver,

**This is to notify you that I officially oppose the awarding of a "premises license" to the New Road Hotel 103-107 New Road London E1 1HJ;**

The building of the said Hotel has already caused a lot of inconvenience to the residents of [REDACTED], including myself, who have had to deal with constant building workds (including on the weekends) , loss of natural sunlight and pigeon infestation, which I have had to resolve at my own cost.

Furthermore, I am of the opinion (which is shared by other residents of [REDACTED] that this is a residential area, with young families, and that the awarding of a "premises license" would cause major disruption to our daily lives.

I am firmly opposed to this porject and I am waiting to receive confirmation that you have received my email.

Thank you for your understanding.

Hedi SAMARI  
[REDACTED]  
[REDACTED]

# Appendix 9

**Kathy Driver**

---

**From:** jan savage [REDACTED]  
**Sent:** 01 March 2017 14:11  
**To:** Licensing  
**Subject:** Licensing application: New Road Hotel, 103-107 New Road, E1 1HJ

**Licensing application: New Road Hotel, 103-107 New Road, E1 1HJ**

Dear Sir/Madam,

I have just heard that the New Road Hotel, 103-107 New Road, E1 has submitted a Licensing Application. I have been unable to find full details but understand that this application covers music and other entertainment, as well as late night refreshment (including off sales of alcohol) until midnight Sunday to Thursday, and 1 am on Friday and Saturday.

I would like to request that this License Application should be refused on the grounds of:

- The prevention of crime and disorder,
- The prevention of public nuisance.

The hotel is in a mixed commercial and residential area, close to the Royal London Hospital. New Road is heavily congested, with narrow pavements. People visiting restaurants on New Road spill into side roads late at night to continue socialising or to collect (and then often sit talking and playing music) in their cars. Even before any further development of New Road, or any impact from the New Road Hotel, residents have to tolerate significant problems with alcohol-fuelled antisocial behavior, late night noise, and excessive litter.

While it seems reasonable for a well-managed hotel to serve alcohol with a sit-down meal, late night entertainment, a late night license and off license sales will contribute further to public nuisance problems, including noise and public disorder.

On this basis I request that this Licence Application is refused.

However, if the Licensing Committee should grant a License, to prevent public nuisance, I would ask for three conditions:

1. That there are no off sales of alcohol.
2. That events that might potentially cause noise problems end at 10.30 pm Sunday to Thursday and 11.30 pm on Friday and Saturday nights (remembering that after an event, it can take a considerable amount of time for people to disperse).
3. That, other than serving alcohol with sit-down meals, alcohol in other public areas of the hotel (eg a music venue) should not be sold after 10 pm Sunday to Thursday and 11pm Friday and Saturdays.

Putting these conditions above would reduce the impact of the premises on public nuisance and on crime and disorder.

Thank you for your attention,

Yours

Jan Savage

████████████████████

████████

# Appendix 10

## Kathy Driver

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**From:** Jon Shapiro [REDACTED]  
**Sent:** 01 March 2017 15:36  
**To:** Licensing  
**Cc:** [REDACTED]  
**Subject:** Licensing Application by New Road Hotel, 103-107 New Road, E1 1HJ

**Importance:** High

Dear Sir or Madam,

I should like to request that the requested hours of this Licence Application should be reduced, that no Late Night Refreshment Licence should be allowed, and that no "Off-Sales" of Alcohol should be allowed. I make these requests on the grounds of:

- The prevention of crime and disorder
- Public safety
- The prevention of public nuisance

as the premises is close to the local ASB "hotspots" of Whitechapel and Brick Lane. It is also very close to Booth House and the Hopetown Hostel, both large hostels housing homeless and vulnerable residents.

It is well known that much of this ASB in the local area is fuelled by alcohol, and that late-night drinkers of alcohol are sustained in their drinking by Late Night Refreshment.

For these reasons, I request that:

- No "Off-Sales" should be allowed
- No Late Night Refreshment should be allowed
- Alcohol sales should be restricted to "Core Hours".

Both Whitechapel and the Brick Lane area are plagued by ASB and hospital admissions to A&E, and I hope the Licensing Panel will restrict any licence granted in accordance with the above requests, which would – I believe – greatly assist the Police and other authorities in reducing such ASB and hospital admissions in the local area.

Yours faithfully,  
Jon Shapiro.

Resident at:

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

## Kathy Driver

---

**From:** Jon Shapiro [REDACTED]  
**Sent:** 05 March 2017 20:14  
**To:** Kathy Driver  
**Cc:** [REDACTED]  
**Subject:** RE: New Road Hotel, 103 New Road -98265 ..... PS

**Sensitivity:** Confidential

PS: Kathy, my apologies when I first read your email I had thought that “off-sales” had been explicitly withdrawn, whereas I now realise your email does not actually say that.

Obviously if no drinks can be taken outside that implicitly stops “off-sales”, but an **explicit** condition that “off-sales” are not allowed would be an absolute minimum requirement for me to withdraw my objection!

All best wishes,  
Jon.

---

**From:** Jon Shapiro [REDACTED]  
**Sent:** 04 March 2017 12:02  
**To:** [REDACTED] 'Kathy Driver'  
<Kathy.Driver@towerhamlets.gov.uk>  
**Cc:** [REDACTED]  
**Subject:** RE: New Road Hotel, 103 New Road -98265  
**Sensitivity:** Confidential

Alan ..... Thank you for your valuable assistance in obtaining modifications of the original Licensing Application.

Kathy ..... Please could I just check two things with you:

1. How are “bona-fide guests” defined? Presumably “bona-fide guests of hotel residents”? If so the applicant would presumably be happy to extend the definition explicitly?
2. How do those “opening” and “alcohol” hours compare with existing licences locally?

With many thanks, and  
All best wishes,  
Jon.

---

**From:** Kathy Driver [<mailto:Kathy.Driver@towerhamlets.gov.uk>]  
**Sent:** 03 March 2017 19:05  
**To:** undisclosed-recipients:  
**Subject:** New Road Hotel, 103 New Road -98265  
**Sensitivity:** Confidential

Following on from my email, I should advise you of the changes made to the application since it was first made.

The following have been agreed in consultation with Environmental Health and Police. If you feel this addresses your concerns could you please email me to withdraw your representation, otherwise we shall continue to plan for the hearing.



**Agreements:**

Residents and bona-fide guests entitled to use facilities on 24hr basis.

Removal of all other non standard timings

B. Films

1000 -midnight: all week

E: Live Music:

1200-2330: all week

F: Recorded music : removed

G: Performance of dance: removed

H: Anything similar: removed

I: Late Night Refreshment

Sun-Thur: 2300 -2330

Fri-Sat : 2330 -0030

J: Supply of alcohol

Sun-Thur : 1030- 2330

Fri-Sat: 1030 - 0030

L: Opening Hours

Sun - Thur : 0800 - midnight

Fri- Sat : 0800 - 0100

Conditions:

1. CCTV

The CCTV system shall incorporate a recording facility and any recordings shall be retained and stored in a suitable and secure manner for a minimum of 31 days. A system shall be in place to maintain the quality of the recorded image and a complete audit trail maintained. The system will comply with other essential legislation, and all signs as required will be clearly displayed. The system will be maintained and fully operational throughout the hours that the premises are open for any licensable activity.

There must also be someone on the premises, who can download the images and present them on request by a police officer or other responsible authority.

( One camera be placed o/s the entrance and on entry, )

2. No drinks to be taken outside

3. Use of incident / refusals book

4. No Music or Amplified Sound shall be generated on the premises to give rise to a nuisance to neighbouring residents

5. Loudspeakers shall not be located in the entrance lobby or outside the premises building.

6. All windows and external doors shall be kept closed after 22:00 hours, or at any time when regulated entertainment takes place, except for the immediate access & egress of persons

*Kathy Driver*

*Principal Licensing Officer*

*Toby Club, Naudrey Close, E1 4UA*

## Kathy Driver

---

**From:** Jon Shapiro [REDACTED]  
**Sent:** 08 March 2017 11:53  
**To:** Kathy Driver  
**Cc:** [REDACTED]  
**Subject:** RE: New Road Hotel, 103 New Road -98265

**Sensitivity:** Confidential

Kathy,

Thank you for all your assistance.

I would not wish to cause undue administrative effort, and as long as the Licence granted to New Road Hotel is explicitly for "on-sales" only, and subject also to inclusion of the details in your attached email, I would withdraw my objection.

With many thanks, and  
All best wishes,  
Jon.

---

# Appendix 11

**Kathy Driver**

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**From:** David Souden [REDACTED]  
**Sent:** 02 March 2017 10:31  
**To:** Licensing  
**Cc:** [REDACTED]  
**Subject:** Licence application, hotel 103-107 New Road E1

Dear Licence Application Officers

Licensing application: New Road Hotel, 103-107 New Road, E1

I have been a resident of [REDACTED] for many years, and I have been a supporter of many improvements in this area.

I am writing to object to this proposed licensing application, which I believe will be a disbenefit rather than an improvement.

I understand that this application covers music and other entertainment, which would possibly disturb residents, as well as late night refreshment and off sales of alcohol until midnight Sunday to Thursday, and 1 am on Friday and Saturday. I request that this Licence Application is refused as it stands on the grounds of the prevention of crime and disorder, and the prevention of public nuisance.

I believe if approved this will contribute to crime that is alcohol-fuelled and will cause additional noise and nuisance to both local residents and visitors. The hotel is in a residential area of high-occupancy units and is close to the Royal London Hospital where many residents work. New Road is congested, with narrow pavements, and drunken behaviour, noise, drug abuse and fly-tipping are already common problems; a late night licence and off-sales will assuredly only increase current nuisance levels.

If the Licensing Committee should grant a Licence, to prevent public nuisance, I ask:

That there are no off sales of alcohol.  
That sale of alcohol other than with meals be restricted.

Thank you for your attention,

Yours sincerely

(Dr) David Souden

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

# Appendix 12

## **Anti-Social Behaviour from Patrons Leaving the Premises**

### General Advice

Members need to bear in mind that once patrons have left a premises they are no longer under direct control. Members will need to be satisfied that there is a link between the way the premises is operating and the behaviour that is complained of. An example of this would be that irresponsible drinking is being encouraged. Before deciding that any particular licensing conditions are proportionate, Members will also need to be satisfied that other legislation is not a more effective route. For example, if the problem is drinking in the street it may be that the Council should designate the area as a place where alcohol cannot be consumed in public.

Members may also wish to consider whether the hours of opening relate to any problems of anti-social behaviour.

If Members believe that there is a substantial problem of anti-social behaviour and it cannot be proportionately addressed by licensing conditions they should refuse the application.

### Licensing Policy

The policy recognises that other legislation or measures may be more appropriate but also states that licensing laws are “a key aspect of such control and will always be part of an overall approach to the management of the evening and night time economy” (**see Section 4.15 and 4.16 of the Licensing Policy**).

The Licensing Authority expects the applicant to have addressed all crime and disorder issues relating to the premises in their operating schedule and to have sought appropriate advice. (**See Sections 6.2 of the Licensing Policy**)

The Licensing Authority will consider attaching conditions to deter crime and disorder and these may include Conditions drawn from the Model Poll of Conditions relating to Crime and Disorder. (**See Appendix 3 of the Licensing Policy**). In particular Members may wish to consider (this list is not exhaustive):

- Bottle Bans
- Plastic containers
- CCTV (outside the premises)
- Restrictions on open containers for “off sales”
- Proof of Age scheme
- Crime prevention notices
- Drinks promotions-aimed at stopping irresponsible promotions
- Signage

## Cumulative Impact

There is a process by which the Licensing Authority can determine that an area is saturated following representations. However, the process for this involves wide consultation and cannot come from representations about a particular application. (**See Section 7 of the Licensing Policy**).

## Police Powers

The Licensing Act 2003, Part 8 gives a senior police officer the power to close a premises for up to 24 hours where the officer believes there is, or is likely to be disorder on or in the vicinity and closure is necessary in the interests of public.

## Guidance Issued under Section 182 of the Licensing Act 2003

The key role of the Police is acknowledged (2.1).

Conditions attached to licences cannot seek to manage the behaviour of customers once they are beyond the direct management of the licence holder, but can relate to the immediate vicinity of the premises as they seek entry or leave (1.16).

Conditions are best targeted on deterrence and preventing crime and disorder (2.3) CCTV inside & out, communication, police liaison, no glasses are all relevant

There is also guidance issued around public nuisance (2.14 – 2.20).

The pool of conditions, adopted by the Council is recommended (see Appendix 3 of the Licensing Policy). Licence conditions should not duplicate other legislation (1.16).

Necessary and appropriate conditions should normally focus on the most sensitive periods and may address disturbance as customers enter or leave the premises but it is essential that conditions are focused on measures within the direct control of the licence holder (2.18/2.20).

Licensing law is not the primary mechanism for the general control of nuisance and anti-social behaviour by individuals once they are away from the licensed premises and, therefore, beyond the direct control of the individual, club or business holding the licence, certificate or authorisation concerned (13.13).

## Other Legislation

### Crime and Disorder Act 1998

The Council has a duty under Section 17 of the Crime and Disorder Act 1998 to do all it reasonably can to prevent crime and disorder.

The Act also introduced a wide range of measures designed to address anti-social behaviour committed by adults and young people. These include:

- Anti-Social Behaviour Orders
- Child Curfew Schemes
- Truancy
- Parenting Orders
- Reparation Orders
- Tackling Racism



# Appendix 13

## **Access and Egress Problems**

Such as:

Disturbance from patrons arriving/leaving the premises on foot

Disturbance from patrons arriving/leaving the premises by car

Lack of adequate car parking facilities

Close proximity to residential properties

### Comment

The above have been grouped together as egress problems. Of course the particular facts will be different for each alleged problem.

Egress only is referred to-if necessary access can be added or substituted in.

### General Advice

In considering concerns relating to disturbance from egress, Members need to be satisfied that the premises under consideration has been identified as the source of the actual or potential disturbance. If they are satisfied that this is a problem, then proportionate conditions should be considered.

The hours of operation also need to be considered.

If Members believe that there is a substantial problem concerning egress and it cannot be proportionately addressed by licensing conditions, they should refuse the application.

### Licensing Policy

The policy recognises that noise nuisance can be an issue, especially if a premises is open late at night. (**See Section 10 of the Licensing Policy**).

The Licensing Authority expects the applicant to have addressed all nuisance issues relating to the premises in their operating schedule and to have sought appropriate advice from the Council's Environmental Health Officers. (**See Section 10.2 of the Licensing Policy**).

The policy also recognises that staggered closing can help prevent problems at closure time (**See Section 15.1**).

However, while all applications will be considered on their merits, consideration will be given to imposing stricter conditions in respect of noise control where premises are situated close to local residents. (**See Section 15.5**)

The Council has adopted a set of framework hours (**See 15.8 of the licensing policy**). This relates to potential disturbance caused by late night trading.

The Licensing Authority will consider attaching conditions to prevent nuisance and these may include Conditions drawn from the Model Pool of Conditions relating to the prevention of Public Nuisance. (**See Annex G of the Licensing Policy**). In particular Members may wish to consider (this list is not exhaustive):

- hours of opening (this needs to be balanced against potential disorder caused by artificially early closing times)
- Whether certain parts should close earlier than the rest (for example a “beer garden”, or restricted in their use)
- Whether or not certain activities should have to close at an early hour, for example live music
- Conditions controlling noise or vibration (for example, noise limiters, keeping doors and windows closed).
- Prominent clear and legible notices at all exits requesting the public to respect the needs of local residents and leave the premises and area quietly

#### Guidance Issued under Section 182 of the Licensing Act 2003

The prevention of public nuisance could include low-level nuisance, perhaps affecting a few people living locally as well as major disturbance affecting the whole community. (2.19).

Licence conditions should not duplicate other legislation (1.16).

Any conditions should be tailored to the type, nature and characteristics of the specific premises. Licensing authorities should be aware of the need to avoid inappropriate or disproportionate measures that could deter events that are valuable to the community, such as live music. Noise limiters, for example, are very expensive to purchase and install and are likely to be a considerable burden for smaller venues. (2.20)

Measures can include ensuring the safe departure of customers, these can include:

- Providing information on the premises of local taxi companies who can provide safe transportation home; and
- Ensuring adequate lighting outside the premises, particularly on paths leading to and from the premises and in car parks

Necessary and appropriate conditions should normally focus on the most sensitive periods (2.22) and may address disturbance as customers enter or leave the premises but it is essential that conditions are focused on measures within the direct control of the licence holder.

# Appendix 14

## **Noise while the premise is in use**

### General Advice

If they conclude this is a problem Members should consider whether it is possible to carry out suitable and proportionate noise control measures so that noise leakage is prevented. In addition Members may consider that only certain activities are suitable.

The hours of operation also need to be considered (see below).

If Members believe that there is a substantial problem of noise while the premises are in use and it cannot be proportionately address by licensing conditions they should refuse the application.

### Licensing Policy

The policy recognises that noise nuisance can be an issue, especially if a premises is open late at night. **(See Sections 8.1 of the Licensing Policy)**.

While all applications will be considered on their merits, consideration will be given to imposing stricter conditions in respect of noise control where premises are situated close to local residents. **(See Section 12.11)**.

The Licensing Authority expects the applicant to have addressed all nuisance issues relating to the premises in their operating schedule and to have sought appropriate advice from the Council's Environmental Health Officers. **(See Section 8.2 of the Licensing Policy)**.

The Licensing Authority will consider attaching conditions to prevent nuisance and these may include Conditions drawn from the Model Poll of Conditions relating to Crime and Disorder. **(See Appendix 2 Annex D of the Licensing Policy)**. In particular Members may wish to consider (this list is not exhaustive):

- hours of opening (this needs to be balanced against potential disorder caused by artificially early closing times)
- Whether certain parts should close earlier than the rest (for example a "beer garden", or restricted in their use)
- Whether or not certain activities should have to close at an early hour, for example live music
- Conditions controlling noise or vibration (for example, noise limiters, keeping doors and windows closed).
- Prominent clear and legible notices at all exits requesting the public to respect the needs of local residents and leave the premises and area quietly
- Conditions controlling the use of explosives, pyrotechnics and fireworks
- Conditions controlling the placing of refuse
- Conditions controlling noxious smells

- Conditions controlling lighting (this needs to be balanced against potential crime prevention benefits)

### Police Powers

Part 8 of the Licensing Act 2003 enables a senior police officer to close down a premises for up to 24 hrs. a premises causing a nuisance resulting from noise emanating from the premises.

### Guidance Issued under Section 182 of the Licensing Act 2003

The Licensing Policy has adopted the recommended Pool of Conditions as permitted (13.20 and Annex D).

The prevention of public nuisance could include low-level nuisance, perhaps affecting a few people living locally as well as major disturbance affecting the whole community (2.33).

Licence conditions should not duplicate other legislation (1.16).

Necessary and appropriate conditions should normally focus on the most sensitive periods (2.36) and may address disturbance as customers enter or leave the premises but it is essential that conditions are focused on measures within the direct control of the licence holder (2.38).

### Other Legislation

The Environmental Protection Act 1990, Part 111 gives Environmental Health Officers the power to deal with statutory nuisances.

The Anti-social Behaviour Act 2003, Sections 40 and 41 give Environmental Health Officers the power of closure up to 24 hours in certain circumstances.

# Appendix 15

## **Planning**

An application for a Premises Licence can be made in respect of a premises even where the premises does not have relevant Planning Permission. That application has to be considered and Members can only refuse the application where the application itself does not promote one of more of the Licensing Objectives. Members cannot refuse just because there is no planning permission. Where a Premises Licence is granted and which exceeds what is allowed by the Planning Permission and that Premises then operates in breach of planning then the operator would be liable to enforcement by Planning.



# Appendix 16

## **Licensing Policy Relating to Hours of Trading**

All applications have to be considered on their own merits.

The Council has however adopted a set of framework hours as follows:

- Monday to Thursday, from 06:00 hrs to 23:30 hrs
- Friday and Saturday, from 06:00 hrs to 00:00 hrs (midnight)
- Sunday, from 06:00 hrs to 22:30 hrs

(see 15.8 of the Licensing Policy)

In considering the applicability of frame work hours to any particular application regard should be had to the following

- Location
- Proposed hours of regulated activities, and the proposed hours the premises are open to the public
- The adequacy of the applicant's proposals to deal with issues of crime and disorder and public nuisance
- Previous history
- Access to public transport
- Proximity to other licensed premises, and their hours

(See 15.9 of the licensing policy)

Subject to any representations to the contrary in individual cases the following premises are not generally considered to contribute to late night anti-social behaviour and will therefore generally have greater freedom

- Theatres
- Cinemas
- Premises with club premises certificates